



PEACE RIVER REGIONAL DISTRICT

REPORT

To: Chair and Directors

Date: March 2, 2020

From: Tyra Henderson, Corporate Officer

Subject: Section 57 Notice on Title- PID 011-898-372

RECOMMENDATION: [All Directors - Unweighted]

That whereas the Building Inspector has provided a recommendation to the Corporate Officer according to Section 57(1)(b) of the *Community Charter* that a notice be placed on the title of the property identified as PID 011-898-372 regarding construction of a dwelling without a building permit, contrary to the PRRD building bylaw regulations; and

The Corporate Officer provided notice to the property owner, according to Section 57 of the *Community Charter*, of the Board's intent to consider placing a notice on title, and provided the property owner the opportunity to address the Board prior to the Board making a decision to place a notice on the title; therefore be it resolved

That the Board require the Corporate Officer, as authorized by Section 57 of the *Community Charter* and Section 302 of the *Local Government Act*, to place a notice on title to the property identified as PID 011-898-372 regarding construction of a dwelling without a building permit and contrary to the PRRD Building Bylaw No. 2131, 2014.

BACKGROUND/RATIONALE:

On February 27, 2020 the landowner spoke at the Regional Board meeting. He subsequently supplied staff with a report stamped by a P. Eng. that states the building is believed to be suitable for the intended use and that there are no concerns with the current or future use of this building. The landowner also supplied the PRRD with copies of the electrical permit, electrical certificates of inspection, the gas installation permit and the WETT inspection report. The landowner told the building inspector that BC Housing was not willing to allow the landowner to obtain an Owner/Builder Exemption at this time because a contractor built the home. BC Housing requires the contractor who built the home to supply the warranty. The contractor is not willing to provide warranty at this time.

Staff continue to recommend placement of the notice on title to alert potential future purchasers of the failure to obtain the mandatory building permit and the mandatory home warranty insurance. Notices on title encourage prospective purchasers to contact the local government for additional information. The report from the P. Engineer would be shared with a future potential purchaser, should they contact the PRRD, along with the information that no home warranty exists for the structure (for the warranty period of 10 years from the date of occupancy).

Section 57 of the *Community Charter* provides a local government with the authority to place a notation on title to a property when the government is aware that a building has been constructed without a permit, contrary to building code or building bylaw regulations or contrary to any other enactment that relates to

Staff Initials: EP

Dept. Head:

CAO:

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the construction or safety of buildings or other structures. This is done primarily as a ‘warning’ to future property owners, who may otherwise not be made aware of the situation and also may protect the local government from liability for negligent misrepresentation claims regarding the permitting history of a property.

This property is located in the mandatory building permit area and prospective purchasers may therefore assume that the construction was inspected and completed in compliance with the prevailing construction standards, bylaws and other enactments. Proof of home warranty insurance is a requirement for obtaining a building permit, therefore a potential purchaser may also assume that the dwelling is covered by the mandatory home warranty insurance.

The building inspector has provided background information in the attached memo summarizing the history of the construction of the dwelling on this property.

ALTERNATIVE OPTIONS:

1. That the Regional Board receive the report titled “Section 57 Notice on Title- PID 011-898-372” dated March 2, 2020 for information.
2. That the Regional Board provide further direction.

STRATEGIC PLAN RELEVANCE:

- Not Applicable to Strategic Plan.

FINANCIAL CONSIDERATION(S):

A nominal filing fee of \$74.16 is paid to the Land Title Office to register the charge against a title.

COMMUNICATIONS CONSIDERATION(S):

As required by the *Local Government Act*, a letter was sent to the owner of the property via registered mail advising that the Board would consider placement of a Section 57 notice on the title to the property on February 27th, 2020 and provided the owner with the opportunity to address the Board prior to its decision.

The owner of the property identified as PID 011-898-372 was present in the board room on February 27, 2020 when the Regional Board deferred voting on the recommendation for this property until the director for the electoral area met with staff. Staff met with the area director on February 28, 2020.

OTHER CONSIDERATION(S):

None at this time.

Attachments:

1. Memo from Building Inspector titled “Notice on Title- PID 011-898-372”.
2. Report from Tryon Engineering Inc. dated February 14, 2020.
3. Electrical Installation Permit dated April 14, 2015.
4. 2 Electrical Certificates of Inspection dated October 23, 2015 and February 15, 2016.
5. Gas Installation Permit dated August 4, 2015.
6. WETT Inspection Report dated January 13, 2016.



MEMO

To: Tyra Henderson, Corporate Officer

Date: February 3, 2020

From: Devon Bacon, Building Inspector

Subject: Notice on Title- PID 011-898-372.

RECOMMENDATION:

That a notice be filed in the Land Title Office, in accordance with Section 57 (1)(b) of the *Community Charter* and Section 302 c) of the *Local Government Act*, against the title of PCL A (3613M) SE ¼, Section 30, Township 78, Range 14, W6M, PRD (The Property) disclosing that the dwelling on the property was constructed without a building permit, contrary to PRRD building bylaw regulations.

BACKGROUND/RATIONALE:

911 Civic: 700 210 Road; **PID:** 011-898-372; **Folio:** 759-002437.000; **Landowner(s):** [REDACTED]; **Legal Land Description:** PCL A (3613M) SE ¼, Section 30, Township 78, Range 14, W6M.

May 14, 2019- Building Inspection and Bylaw Enforcement staff began a review structures that require a Notice on Title- *Community Charter Section 57*. The focus was on construction that had commenced without a building permit, had an expired building permit or was contrary to the conditions of a building permit and landowners either were not co-operating with staff to correct the situations or the construction had progressed such that inspections are no longer possible.

January 30, 2020- The PRRD became aware of a dwelling that was constructed without a BP

February 3, 2020- The BEO searched the BC Housing registry. There was no record of Home Warranty Insurance for this property. There is no evidence that the construction of this dwelling met the requirements or permitted exemptions of the *Homeowner Protection Act*.

Section 22 of the *Homeowner Protection Act* requires that all dwellings in the Province of BC have Home Warranty.

Mandatory home warranty

22 (1) *A person must not build a new home unless the new home is registered for coverage by home warranty insurance provided by a warranty provider.*

(1.1) Subject to subsection (1.2), a person must not sell or offer to sell a new home

(a) while the new home is being constructed, or

(b) within 10 years from

(i) the date an occupancy permit was first issued with respect to the new home, or

Staff Initials:

Dept. Head:

CAO:

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(ii) if no occupancy permit has been issued with respect to the new home, the date on which the registrar is satisfied the new home was first ready for occupancy,

unless

(c) the new home is covered by home warranty insurance provided by a warranty provider, or

(d) the new home or the person is exempt by regulation from the requirement of this subsection.

Section 30 of the Homeowner Protection Act requires that a local government must not issue a building permit until it has been provided with evidence that a home is either covered by home warranty insurance or is exempt from home warranty insurance.

Building permits

30 (1) A municipality, regional district or treaty first nation must not issue a building permit for a proposed new home unless the applicant provides evidence, in the prescribed form,

(a) that the proposed new home

(i) is covered by home warranty insurance, or

(ii) will be built by an owner builder or is otherwise exempted by regulation from the requirement to be covered by home warranty insurance

Attachments:

1. Photo of the dwelling that is the subject of this memo.
2. Map showing property location.

PID 011-898-372



March 12, 2020



Peace River Regional District

14-Feb-2020

PID: 011898372
Roll Number: 759-002437.000
Legal Description: PARCEL A (3613M) OF THE SOUTH EAST 1/4 OF SECTION 30 TOWNSHIP 78 RANGE 14 WEST OF THE 6TH MERIDIAN PEACE RIVER DISTRICT

Parcel Size

0.50 Hectares 1.22 Acres



This map is a user-generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. Peace River Regional District should be contacted for information regarding other conditions such as easements, rights-of-way or covenants.

March 12, 2020



Devon Bacon
Building Inspector
Peace River Regional District
PO Box 810
[1981 Alaska Avenue]
Dawson Creek, BC V1G 4H8

Our File: 200010
February 14, 2020

RE: 700-210rd, Structural Inspection

On February 10th, 2020, Tryon Engineering Inc. performed an inspection of a house constructed in 2015 at 700 210rd, McQueen Slough, B.C. The purpose of the visit was to determine if the house was built safely and met the BCBC 2012 at the time of construction circa 2015. Due to the complete nature of this structure Tryon used client supplied photos, interior/exterior access and other non-invasive methods to determine construction methods and materials used. Due to the complete nature of construction photographs provided invasive inspection methods were not required.

Site measurements determined that the house was built to the design drawing titled "Architectural Design (140226)". The plans were prepared by Tryon Engineering Inc., and supplied by the Client to their contractor. The Roof Truss and floor designs were pre-engineered, and prepared by True Beam. The only changes to the floor plans provided by the client were the swapping of the bedroom and mechanical room in the basement, as well as the stairs taking an "L" shape instead of the linear shape on the original plan set.

The decks were modified by the contractor as well, the design shows a horseshoe deck that wrap the west wall of the house. Currently the deck is limited to a small deck on the south side (outside of the kitchen) And one full house length deck on the north side. These decks are founded on treated 8x8 posts which are doweled to 10' concrete piles within 10" boreholes. The wood is separated from native soil with a gravel layer. Should any movement of the deck begin to occur contact a structural engineer immediately.

The Footings were constructed on undisturbed native soil and are 16"x8", 2-15M continuous rebars were placed in the footings prior to pouring. Dowels were wet set 5" to 7" deep after the footing was poured. The dowels were 15m @ 48" O.C. and projected 24" minimum into the foundation wall. Footings were measured to have approximately 5' cover to help prevent frost penetration to the footing. Concrete in footings and foundation was 30mpa, mixed at the Dawson Creek Inland plant.

The ICF walls were built to plan, the exterior basement walls were 6" ICF, rebar was installed as per typical Nudura specifications. The exterior main level walls were 2x6 @ 16" O.C. construction with batt insulation at 5.5" thickness. The roof trusses were installed as per True Beam design. The attic was filled with blow in insulation to provide the required R60 for peaked roofs. The blow in insulation, which was used in the attic spaces, was reportedly installed in the vaulted ceiling area with an insulation of approximately R30.

TRYON GROUP

www.tryongroup.ca
mail@tryongroup.ca

10201 – 17 St. 11320 – 100 Ave.
Dawson Creek Fort St. John, BC
BC V1G 4C3 V1J 1Z9
250-782-5868 250-262-0031



Client provided photographs showing water proof membrane installed prior to backfill. The basement slab had vapor barrier installed on top of washed rock fill beneath the 3 ½" concrete slab. The slab was reinforced 10m rebar at 24" O.C. E.W. A small sump was added in the mechanical room of the basement slab in case of any water leaks. This sump is connected to the drain tile and has a pump system connected to an automatic backup generator.

Visible floor joists were installed to plan provided by True Beam.

Current surface water management and grading is effective at preventing water from pooling, or draining towards the house.

In speaking with the contractor, no new home warranty was applied for on this house.

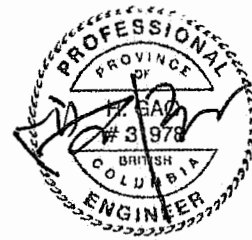
It is believed that the house was constructed with good workmanship and is suitable for the intended use. It is our belief that there are no concerns with the current/future use of this building.

We recommended that the property owners (present and future) remain diligent in monitoring surface water. The surface water should also not be allowed to pool or drain into the concrete foundations as this will cause premature degradation of the structure and drain tile and lead to a shorter usable lifespan of the building.

Note: this assessment is solely focused on the current conditions, and based upon the visual, non-destructive site inspection was conducted. If the site condition differs, it is the Client's responsibility to report to Tryon immediately and Tryon will amend the result accordingly. Should you have any questions regarding this letter please contact Oleg Kuklishyn or David Gao (P. Eng.) of Tryon Engineering Inc.

Sincerely,
Tryon Engineering Inc.

Per David H, Gao
P. Eng., Lead Engineer



Email: dgao@tryongroup.ca



Figure 1. Footing installed on stable native soil. Continuous 15M rebar installed

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OQM
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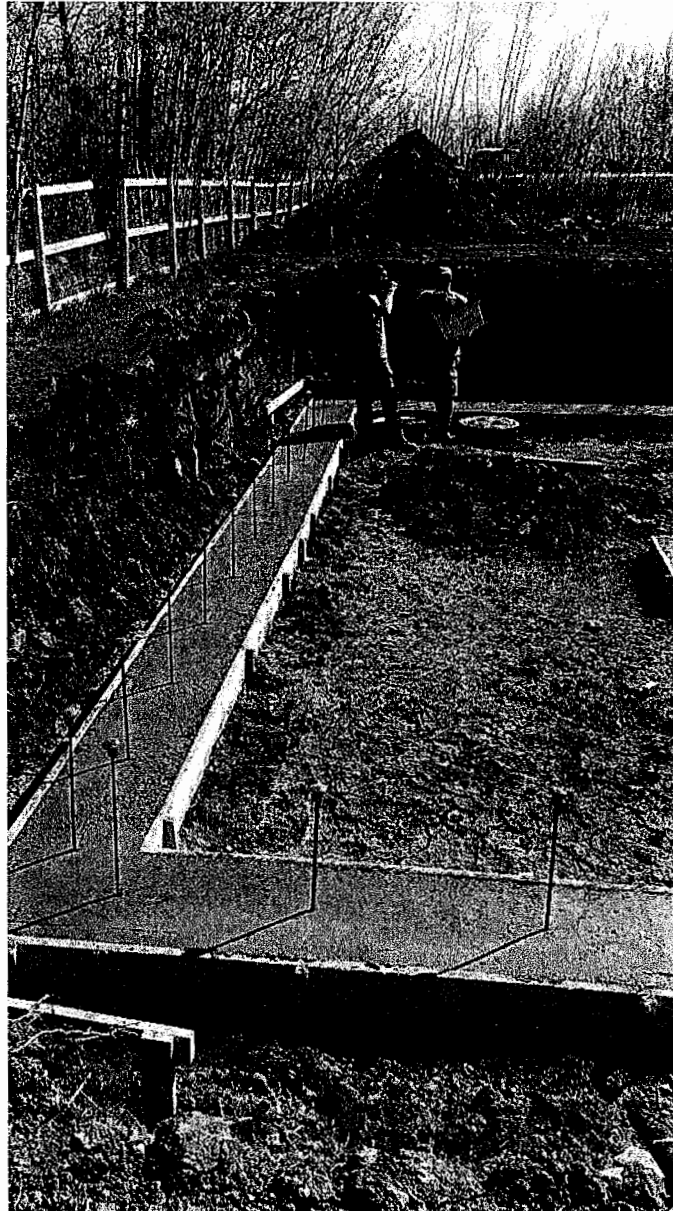


Figure 2. Wet Set 15M dowels @ 4' O.C.

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IQM
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Figure 3. Nudura water proofing installed on ICF foundation.

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IQM
CERTIFIED

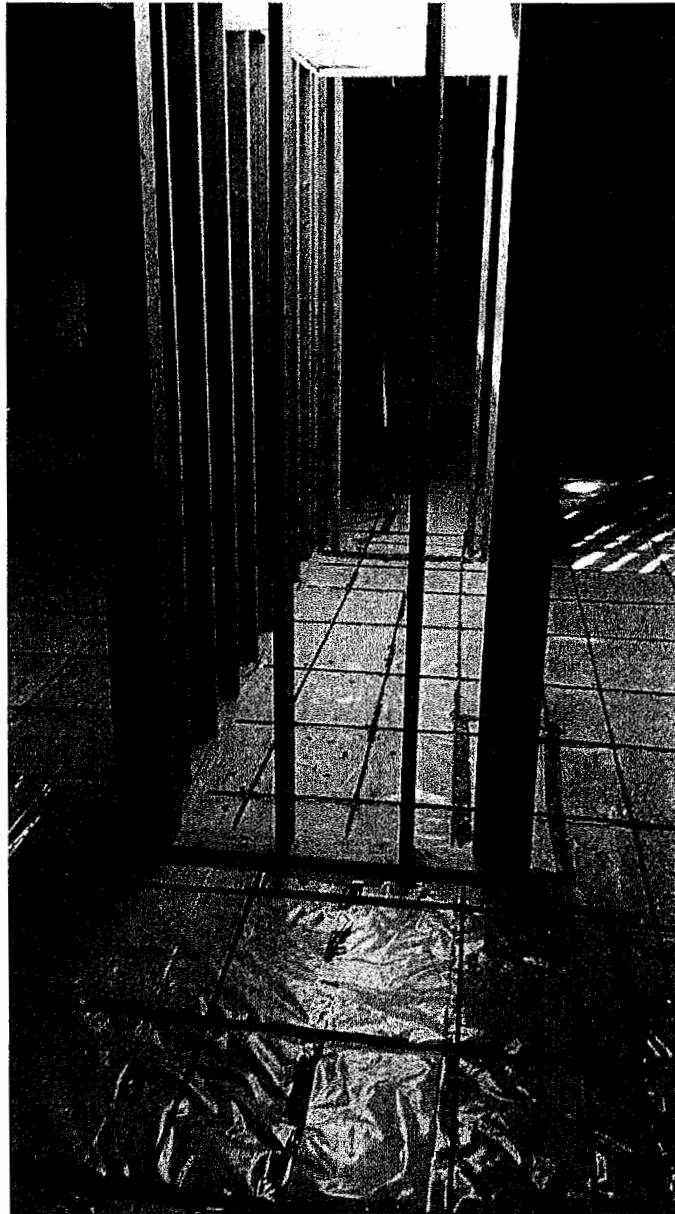


Figure 4. Basement vapour barrier and rebar mat.

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IOQM
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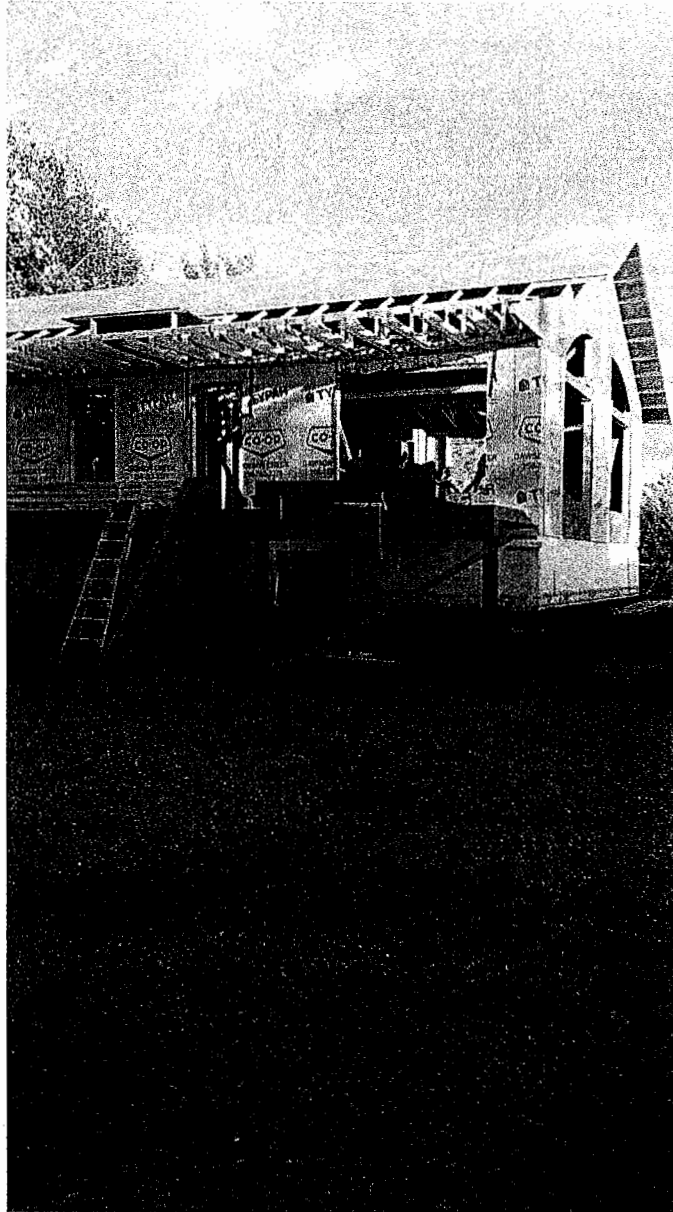


Figure 5. Typar house wrap over house sheathing.

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ENGINEERS &
GEOSCIENTISTS
BRITISH COLUMBIA

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Figure 6. 5.5" batt insulation inside 2x6 walls.

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Figure 7. 5.5" batt insulation inside 2x6 walls and start of vapour barrier.

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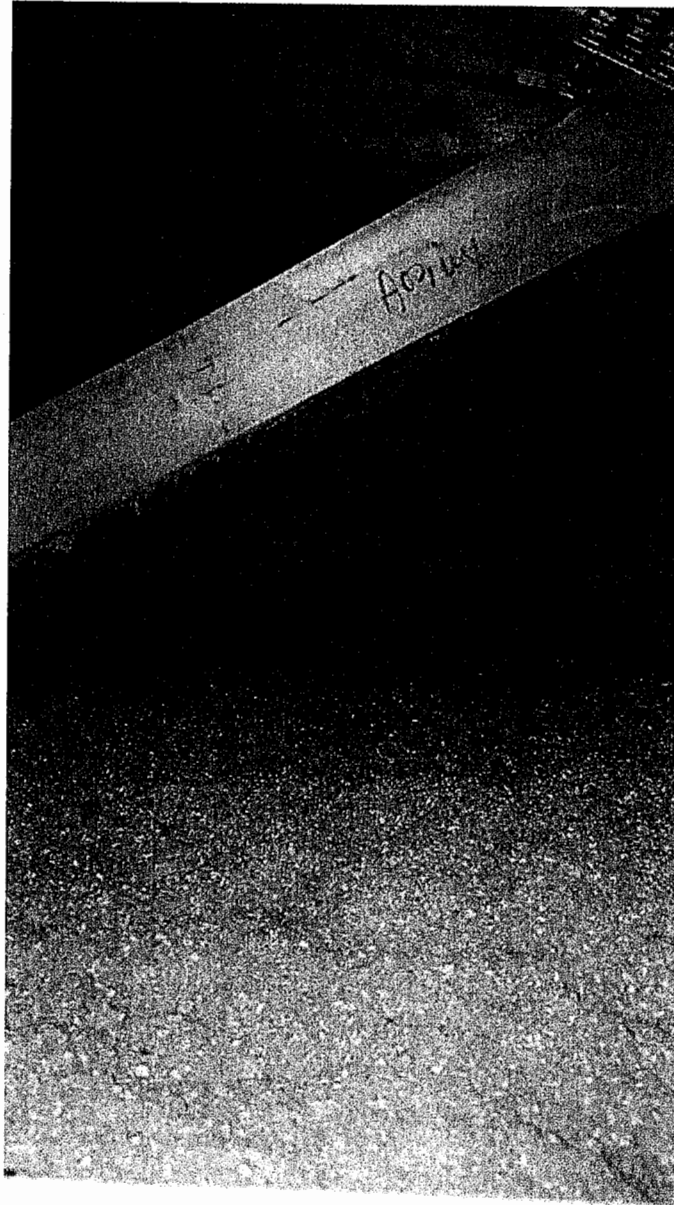


Figure 8. Blow-in insulation in attic space.



ELECTRICAL INSTALLATION PERMIT
 CONTRACTOR RESIDENTIAL SINGLE FAMILY DWELLING

April 14, 2015

Craig Electric Ltd
 PO BOX 134
 ARRAS BC V0C 1B0

SITE OF INSTALLATION

John Burrit
 700 210 ROAD
 DAWSON CREEK BC V1G 4E8

Contractor Information:

Contractor Name - Craig Electric Ltd
Licence Class - Contractor Licence
Licence No. - LEL0201579

Designated FSR Information:

FSR Name - Lindsay LaForge
FSR Class - FSR Class B

INSTALLATION DESCRIPTION

Building Occupancy:			
Main Service Switch:	Volts: 240	Amps: 200	Phase: 1
High Voltage:	Low Energy:	Hazardous Area:	Patient Care:

Scope of Work: Install new 200 amp service & new construction home wiring

The Permit holder is permitted to install electrical equipment at this site of installation within the listed scope of work above, subject to listed Terms & Conditions.





TERMS & CONDITIONS

The following Terms & Conditions are attached to this Installation Permit:

1. The Field Safety Representative named on the permit must physically examine the work described, including any amendments, for regulatory compliance prior to submission of an inspection request.
2. To obtain authorization to cover rough wiring for a Contractor Installation Permit, the Permit holder must request an inspection and submit a declaration of compliance with the Safety Standards Act ("the Act") and regulations at least two full business days prior to cover. This may be done online. Please post a copy of this declaration in a conspicuous manner at the site of installation."



GENERAL REQUIREMENTS & INFORMATION

The Following General Requirements apply to all Installation permits:

1. All electrical work is to be discontinued immediately if the installation permit is suspended, revoked, or otherwise rendered invalid by the BC Safety Authority.
2. Only qualified individuals may perform regulated work as defined by the Act and Regulations.
3. When an Operating Permit is required, the installation owner has 60 days to obtain a valid Operating Permit following a Passed Final Assessment.
4. The BC Safety Authority is to be notified of any incident that results in an injury to any person or damage to the regulated equipment. To report an incident, go to www.safetyauthority.ca (search: "report an incident").
5. Variances must be obtained prior to commencement of installation work. For installations already commenced, all applicable regulated work must be discontinued until the request for variance, where required, has been approved by the BC Safety Authority.
6. Failure to disclose additional work or alterations to the work authorized under this installation permit may result in additional fees and assessments being levied and/or the suspension or revocation of the installation permit.
7. On final completion of the regulated work authorized by a permit, the holder of the permit must immediately complete a Notification of Completion, Installation Repair or Alteration Form online, or mail the completed form and data reports to the BC Safety Authority. Permits will be suspended after a period of 180 days unless an inspection request has been submitted. Contact your Safety Officer if you need an extension, prior to suspension of the permit.
8. When making an inspection request, information on how to access the site must be provided to the Safety Officer performing the inspection and must also indicate how the property is marked at the driveway.
9. Failure to comply with the regulatory inspection requirements may result in an order to the supply authority to disconnect electrical power to the premises.

The Following General Requirements apply to Contractor Installation Permits:

10. To obtain authorization for service connection or upon completion of installation, a request for an inspection and a declaration of compliance with the Act and regulation must be submitted. This may be done online. Please post a copy of this declaration in a conspicuous manner at the site of installation.

The Following General Requirements apply to Homeowner Installation Permits:

11. A homeowner must request an electrical inspection under this permit by submitting an online request or by submitting the "Homeowner Inspection Request" form.
12. After an inspection is requested (prior to covering of wiring or prior to connection of power) work must not proceed until authorized by a Safety Officer.





Issue Date: April 14, 2015
Installation Permit Number: EL-229428-2015
(When inquiring always refer to this number.)

If you disagree with a term or condition applied to this permit, you may request, in writing, a Safety Manager review within 30 days from the date of issue. A Review Request Form can be obtained from any BC Safety Authority office or online at: www.safetyauthority.ca (search: "manager review").

For information on the Safety Standards Act, Regulations, and the Review/Appeal process, please visit www.safetyauthority.ca.



British Columbia Safety Authority
505 6th Street, Suite 200 New Westminster BC V3L 0E1 T 778.396.2000 1.866.566.7235 F 778.396.2064 www.safetyauthority.ca

ELECTRICAL CERTIFICATE OF INSPECTION

EL: Final Assessment

ACTIVITY DATE: October 23, 2015

CONTACT INFORMATION:

Craig Electric Ltd
PO BOX 134
ARRAS BC V0C 1B0

CONTRACTOR / FSR INFORMATION:

Lindsay Craig

SITE ADDRESS:

700 210 ROAD
DAWSON CREEK BC V1G 4E8

Inspection Result: Passed

Applicable when checked

Do Not Energize

Authorized for Connection

Existing Service Connection

Do Not Cover

Authorized for Cover

SAFETY OFFICER NOTES

GENERAL REQUIREMENTS & INFORMATION

1. All non-compliances must be resolved by the date indicated on this Certificate Of Inspection.
 2. Technical Safety BC is to be notified of any incident that results in an injury to any person or damage to the regulated equipment.
To report an incident, go to www.technicalsaftybc.ca (search: "report an incident")
 3. When an Operating Permit is required, the installation owner has 60 days to obtain a valid Operating Permit following a Passed Final Assessment

BC Safety Authority is now **Technical Safety BC**. While we have changed our name, we remain committed to our vision of *Safe Technical Systems. Everywhere.* Learn more about our evolving services and how we share safety knowledge at www.technicalsaftybc.ca.



Permit Number: EL-229428-2015
Inspection Number: ELIN-462563-2015
(When inquiring always refer to these numbers.)

Safety Officer Name: Harvey Pratt
Safety Officer Phone: 250-784-2381
Safety Officer Email: Harvey.Pratt@technicalsafetybc.ca

If you disagree with this Certificate of Inspection, you may request, in writing, a Safety Manager review within 30 days from the date of issue. A Review Request Form can be obtained from any Technical Safety BC office or online at: www.technicalsaftybc.ca (search: "manager review")

For information on the Safety Standards Act, Regulations, and the Review/Appeal process, please visit www.technicalsaftybc.ca

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ELECTRICAL CERTIFICATE OF INSPECTION

EL: Final Assessment

ACTIVITY DATE: February 15, 2016

CONTACT INFORMATION:

Craig Electric Ltd
PO BOX 134
ARRAS BC V0C 1B0

CONTRACTOR / FSR INFORMATION:

Lindsay Craig

SITE ADDRESS:

700 210 ROAD
DAWSON CREEK BC V1G 4E8

Inspection Result: Passed

Applicable when checked

- | | | |
|--|--|--|
| <input type="checkbox"/> Do Not Energize | <input type="checkbox"/> Authorized for Connection | <input type="checkbox"/> Existing Service Connection |
| <input type="checkbox"/> Do Not Cover | <input type="checkbox"/> Authorized for Cover | |

SAFETY OFFICER NOTES

GENERAL REQUIREMENTS & INFORMATION

1. All non-compliances must be resolved by the date indicated on this Certificate Of Inspection.
 2. Technical Safety BC is to be notified of any incident that results in an injury to any person or damage to the regulated equipment.
To report an incident, go to www.technicalsaftybc.ca (search: "report an incident")
 3. When an Operating Permit is required, the installation owner has 60 days to obtain a valid Operating Permit following a Passed Final Assessment

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Permit Number: EL-343180-2016
Inspection Number: ELIN-524014-2016
(When inquiring always refer to these numbers.)

Safety Officer Name: Harvey Pratt
Safety Officer Phone: 250-784-2381
Safety Officer Email: Harvey.Pratt@technicalsafetybc.ca

If you disagree with this Certificate of Inspection, you may request, in writing, a Safety Manager review within 30 days from the date of issue. A Review Request Form can be obtained from any Technical Safety BC office or online at: www.technicalsaftybc.ca (search: "manager review")

For information on the Safety Standards Act, Regulations, and the Review/Appeal process, please visit www.technicalsaftybc.ca

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Suite 600 - 2889 East 12th Avenue Vancouver, BC V5M 4T5 T 1 866 566 7233 E contact@technicalsaftybc.ca www.technicalsaftybc.ca



Permit Number: GA-273026-2015

(When inquiring always refer to this number.)

PERMIT STATUS NOTIFICATION

October 30, 2015

Macklee Mechanical Ltd.
521 114 AVENUE
DAWSON CREEK BC V1G 3B7

GA - Installation Contractor Residential Single Family Dwelling

Installation Address: 700 210 ROAD
DAWSON CREEK BC V1G 4E8

Contractor / Owner: Macklee Mechanical Ltd.

Description of Work: Cam Todd
700 210rd

PERMIT STATUS: Closed

Although the permit status may be complete the BC Safety Authority reserves the right to assess this installation for compliance with the Safety Standards Act and Regulations.

For information on the Safety Standards Act, Regulations, and the Review/Appeal process, please visit www.safetyauthority.ca.





GAS INSTALLATION PERMIT

CONTRACTOR RESIDENTIAL SINGLE FAMILY DWELLING

August 04, 2015

Macklee Mechanical Ltd.
 521 114 AVENUE
 DAWSON CREEK BC V1G 3B7

SITE OF INSTALLATION

700 210 ROAD
 DAWSON CREEK BC V1G 4E8

Contractor Information:

Contractor Name - Macklee Mechanical Ltd.
Licence Class - Contractor Licence
Licence No. - LGA0200774

Gas Fitter Information:

Gas Fitter Name - Jeffery Pattison
Gas Fitter Class - Class B Gas Fitter (GP)

INSTALLATION DESCRIPTION

Building Occupancy:	Residential - Fully Detached Single Family
Fuel Type:	Natural Gas
System Pressure:	Low

This permit grants the Holder permission to install the regulated product located at the above installation site in accordance with the Safety Standards Act and all applicable regulations, codes and standards.

Appliance Type	No. of Appliances	Input per Unit
Furnace	1	80,000
Oven	1	50,000
Water Heater	1	40,000
Generator Connection	1	180,000

Scope of Work: Cam Todd
 700 210rd



March 12, 2020

TERMS & CONDITIONS

The installation of the aforementioned equipment is subject to the following terms and conditions:

Not Applicable

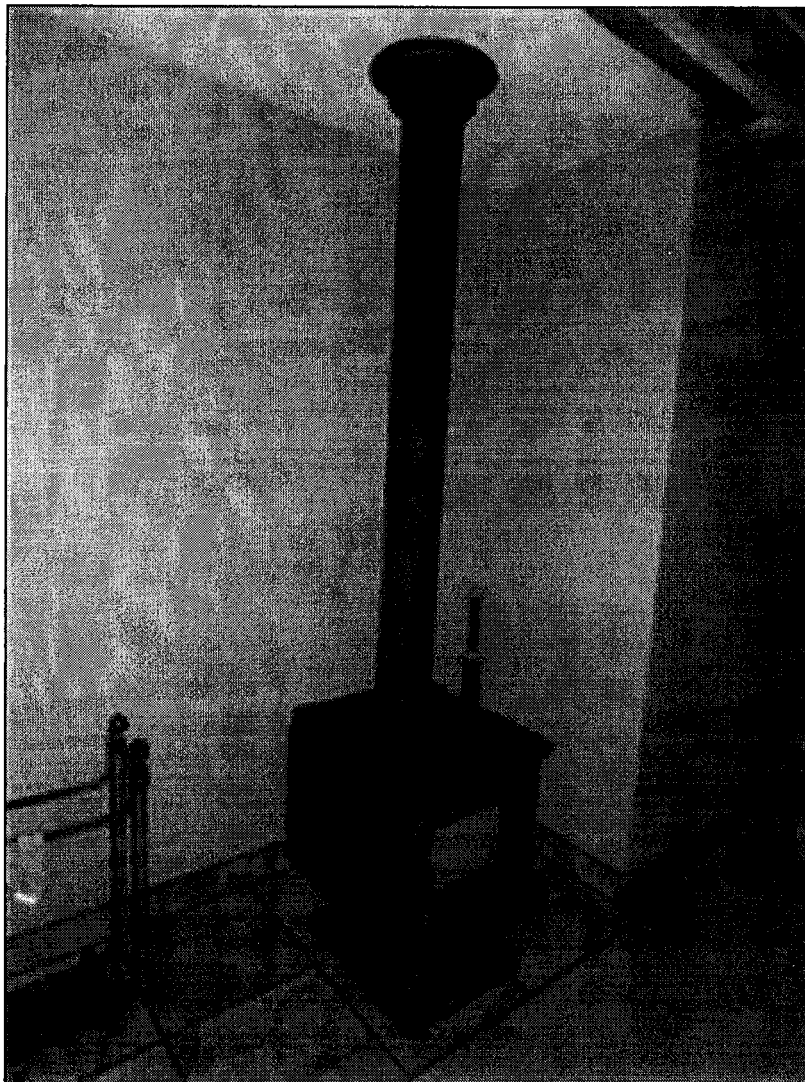
GENERAL REQUIREMENTS & INFORMATION

1. Only qualified individuals may perform regulated work as defined by the Safety Standards Act and Regulations.
2. All gas work is to be discontinued immediately if the installation permit is suspended, revoked, or otherwise rendered invalid by the BC Safety Authority.
3. The BC Safety Authority is to be notified within 24 hours of any incident that results in an injury to any person or damage to the gas equipment during the installation of the equipment. To report an incident, go to www.safetyauthority.ca.
4. Variances must be obtained prior to commencement of installation work. For installations already commenced, all regulated work must be discontinued until the request for variance, where required, has been approved by the BC Safety Authority.
5. Failure to disclose additional work or alterations to the work authorized under this installation permit may result in additional fees and assessments being levied and/or the suspension or revocation of the installation permit.
6. All non-compliances must be resolved by the date indicated on the Certificate Of Inspection.
7. On completion of each phase of the gas system authorized by a permit, the gas fitter, the permit holder, or a representative of the permit holder, must immediately request an inspection from the BC Safety Authority.
8. On completion of the regulated work authorized by a permit, the holder of the permit must immediately complete a Notification of Completion, Installation Repair or Alteration Form online, or mail the completed form and data reports to the BC Safety Authority.
9. Where required by the Safety Standards Act, a valid Operating Permit must be obtained from the BC Safety Authority prior to using a regulated product. If this Installation Permit is issued for an installation which requires an Operating Permit, the system owner has 60 days to obtain a valid Operating Permit following an acceptable final assessment.

If you disagree with a term or condition applied to this permit, you may request, in writing, a Safety Manager review within 30 days from the date of issue. A Review Request Form can be obtained from any BC Safety Authority office or online at: www.safetyauthority.ca (search: "manager review").

For information on the Safety Standards Act, Regulations, and the Review/Appeal process, please visit www.safetyauthority.ca.





**700 210 Road
Dawson Creek BC**

March 12, 2020

Prepared For:
John Burritt

ProTech Property Inspections

Dan Bastiaansen License #47561
11704 96a Street
Fort St John, BC
V1J 0E9

March 12, 2020

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Date: 1/13/2016**Report ID:****Property:**700 210 Road
Dawson Creek
BC**Customer:**
John Burritt**Real Estate
Professional:**
Echo Veiner

It has been a pleasure to provide your inspection service and we truly appreciate your patronage. We worked hard to research your real estate investment and report back to you in a comprehensive way to answer all of your questions as thoroughly as possible. Remember that we have your best interests in mind throughout this process and we are happy to answer any questions that you might have about the inspection. Please feel free to call us directly with any of your questions.

Definition of Terms Used in Your Report

The following terms are used throughout your report to describe the condition of different elements of the property. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor is recommended. All costs associated with further inspection fees and repair or replacement of an item, component or unit should be considered before you purchase the property.

It has been a pleasure to provide your inspection service and we truly appreciate your patronage. We worked hard to research your wood burning appliance installation and report back to you in a comprehensive way to answer all of your questions as thoroughly as possible. Remember that we have your best interests in mind throughout this process and we are happy to answer any questions that you might have about the inspection. Please feel free to call us directly with any of your questions.

The purpose of this inspection was to perform a general visual examination of the sight-exposed elements of the wood-burning appliance and its associated components. The inspection was conducted in accordance with the standards of a Level 1 inspection (WETT Canada Standards). The appliance installation was checked to ensure compliance with the Manufacturer's specifications, the National Building Code, the BC Building Code and the National Fire Code where applicable. The intent of this review was to ascertain, in the opinion of the inspector, if further more detailed review or repair is warranted.

Definition of Terms Used in Your Report

The following terms are used throughout your report to describe the condition of different elements of the wood burning appliance installation.

Code Compliant = The item, component or unit was visually inspected, and if no other comments were made, then it appeared to be installed as intended and in acceptable condition.

Non-compliant = The item, component or unit is not installed as intended, or needs further inspection/investigation. Items, components or units that can be repaired to satisfactory condition may not need replacement. Details regarding the deficiency observed and recommendation to bring the appliance into compliance will be found in the comments area.

Unable to Inspect = This item, component or unit was not inspected and no representations of whether or not it was installed as intended is possible. An inspection can be expected to include some components marked UTI as most installations have components that are not readily accessible without disassembly or destructive investigation (which exceeds the scope of a WETT Level 1 Inspection).

Not Applicable = This item, component or unit is present or required in this installation.

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Standards of Practice:
WETT

In Attendance:
Customer

Type of building:
Single Family Dwelling

Overall Summary:

The wood burning appliance appears to conform to safe installation practices.

A handwritten signature in black ink, appearing to read 'Dan Bastiaansen', with a long horizontal flourish extending to the right.

Dan Bastiaansen (WETT #9444)

March 12, 2020

1. Freestanding Wood Stove

		CC	NC	UTI	NA
1.0	Appliance Standard and Installation	X			
1.1	Appliance Clearances	X			
1.2	Appliance Shielding				X
1.3	Ember Pad Size/Material	X			

CC=Code Compliant, NC=Non-compliant, UTI=Unable to Inspect, NA=Not Applicable

Styles & Materials

Appliance Standard::
ULC S627
Date of Manufacture : April 2015

Listing Agency::
Warnock Hersey
Serial Number : WH-253804

Manufacturer::
Pacific Energy
Model Number : Super 27

Installation Manual Available::
Yes

Installed By::
Owner

Installed In::
Single Family Residence
Appliance Location: : Basement

Connected To::
Interior Chimney
Extra Info : Vertical Chimney Connection

Required Appliance Clearances:
As per label and installation manual
As per manufacturer : Back: 5",
Sides: 14"

Actual Appliance Clearances:
Measured
Actual : Rear: 10"; Closest Side:
17.5"

Ember Pad:
Concrete Slab
Tile

Pad Size:
Required to extend at least 18" on
any side with a door and 8" on all
other sides
Actual : Entire floor is tile and
concrete

Type of Shield:
No Shield Present or Necessary at
Wall

**Radiant Heat Protection for the
Floor:**
Not Applicable as per
Manufacturer's Installation
instructions

Alcove Approved:
Yes (stated on label)

Mobile Home Approved:
Yes (stated on label)

Certified for Installation in BC:
EPA Certified

Comments:

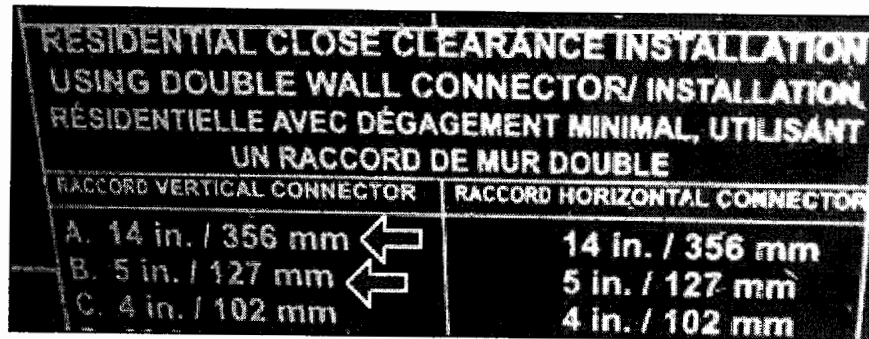
1.0 .

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1.0 Picture 1

1.1.



1.1 Picture 1

1.3 The stove is installed on a concrete slab in the basement. A tile ember pad is present at the sides and rear of the stove and concrete at the front.

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2. Flue Pipe

		CC	NC	UTI	NA
2.0	Flue Pipe Type, Size and Material	X			
2.1	Flue Pipe Clearances	X			
2.2	Length of Flue Pipe	X			
2.3	Elbows				X
2.4	Fastening	X			
2.5	Joint Orientation and Overlap	X			
2.6	Flue Pipe Slope and Support	X			
2.7	Expansion Joint	X			
2.8	Connection to Factory-built Chimney	X			

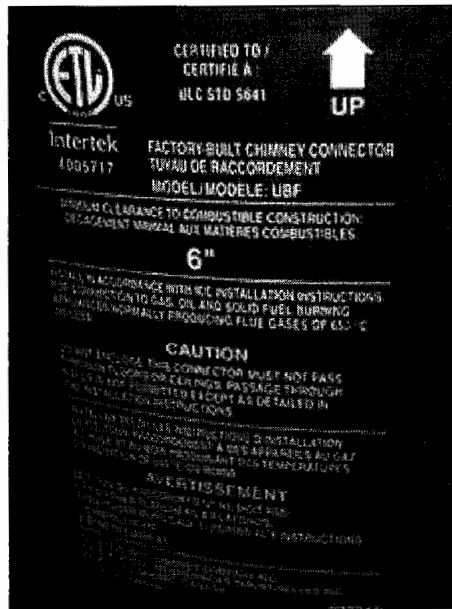
Styles & Materials
 Type::
 Double Wall
 Total Length::
 72"
 Required Clearances::
 As per Label
 Required : 6"
 Actual Clearances::
 As Measured
 Distance at closest point : 14"

CC NC UTI NA

CC=Code Compliant, NC=Non-compliant, UTI=Unable to Inspect, NA=Not Applicable

Comments:

2.0 .



2.0 Picture 1

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

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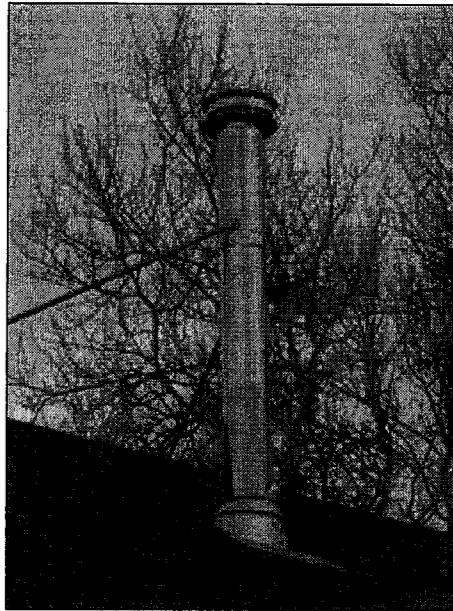
3. Chimney

		CC	NC	UTI	NA
3.0	Chimney Type and Manufacturer	X			
3.1	Ceiling Support	X			
3.2	Firestops/Radiation Shields	X			
3.3	Attic Radiation Shield	X			
3.4	Enclosed Through Living Space	X			
3.5	Roof Flashing	X			
3.6	Roof Braces	X			
3.7	Rain Cap	X			
3.8	Height Above Roof Surface (minimum 3' required)	X			
3.9	Height Above Any Structure within 10' (Minimum 2' required)	X			
3.10	Chimney Clearance to Combustibles (readily accessible areas)	X			

CC NC UTI NA

Styles & MaterialsChimney Classification:
ULC S629 (650°C)Installed By:
OwnerInstalled:
Inside

CC=Code Compliant, NC=Non-compliant, UTI=Unable to Inspect, NA=Not Applicable

Comments:**3.0**

3.0 Picture 1

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

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March 12, 2020



INVOICE

ProTech Property Inspections
 11704 96a Street
 Fort St John, BC
 V1J 0E9
Inspected By: Dan Bastiaansen License #47561

Inspection Date: 1/13/2016

Customer Info:	Inspection Property:
John Burritt Customer's Real Estate Professional: Echo Veiner	700 210 Road Dawson Creek BC

Inspection Fee:

Service	Price	Amount	Sub-Total
Dawson Creek WETT Inspection	190.48	1	190.48

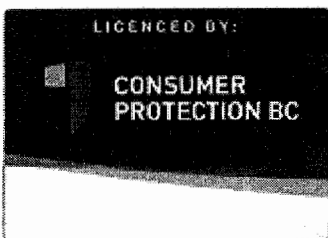
Tax \$9.52

Total Price \$200.00

Payment Method: Cheque

Payment Status: Paid At Time Of Inspection

Thank You for Putting Your Trust in Us!



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