

From: Eliza Stanford <eliza.s@telus.net>
Sent: Tuesday, August 4, 2020 8:10 AM
To: Jill Rickert
Cc: PRRD_Internal
Subject: Re: Request for Information - Whiskey Jack Nordic Ski Day Lodge Project
Attachments: Timeline Day Lodge WJNSC July 2020.pdf; WJNSC Day Lodge Budget June 2020 .xlsx; COMPRESSED_WJNSC Day Lodge Design May 2020 copy.pdf
Categories: RBAC Reports

CAUTION: This email originated from outside of the organization.

Hi Jill,

I am attaching current information about the day lodge project in Beaton Provincial Park.

We had originally intended to construct this summer but the delay in announcing the main source of funding (Investing in Canada Infrastructure Program - ICIP) caused us to delay by one year, for a projected construction for Spring/summer/fall of 2021. To date we have 90% of the funding in place, with one more grant application submitted to the BC Gaming Capital Projects program. We did proceed on a significant portion of the design and engineering components this winter, and adjusted the design slightly. The main outstanding component still to be addressed is that of the support piles.

We have also requested to BC Parks that we shift the location slightly to the south, requiring some tree removal, but at the time of writing they have not responded to our request.

Attached to this email: timeline, budget and updated design.

Regards,

Eliza Stanford

Whiskey Jack Nordic Ski Club

On Jul 30, 2020, at 1:14 PM, Jill Rickert <Jill.Rickert@prrd.bc.ca> wrote:

Hello Eliza;

Hope you are keeping well. The Rural Budgets Administration Committee has requested an update on the progress of the day lodge project as per the attached letter.

If you have any questions, please give me a call.

Thank you,

Jill Rickert | Grant Coordinator

Direct: **250-784-3209** | jill.rickert@prrd.bc.ca

[PEACE RIVER REGIONAL DISTRICT](#) | [Box 810, 1981 Alaska Highway Avenue, Dawson Creek, BC V1G 4H8](#)

[Toll Free: \(24 hrs\): 1-800-670-7773](#) | [Office: 250-784-3200](#) | [Fax: 250-784-3201](#) | www.prrd.bc.ca

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Day Lodge Project Timeline

DATE	Deadline	Task	Activity	Completion	Notes
2013		Visioning activity with WJNSC membership		Completed	Day Lodge comes up as a ski club asset to be realized in the future
2016		Visioning activity with WJNSC membership		Completed	Day Lodge comes up as a ski club asset to be realized in the future
2016	November	Applied for funding to conduct clearing of day lodge site; construction of shop		Completed	Grants were received by Peace River Regional District and NDIT
2016	December	Applied to BC Parks for permit amendment; application included preliminary clearing of day lodge site		Completed and received	Construction of shop was primary purpose of application; WJNSC took advantage of equipment on site to clear site for Day Lodge
2017	August	Archeological assessment conducted as required by BC Parks		Completed	There were no concerns at the site; report was received by BC Parks
2017	September	Construction of storage building	Clearing of trees, hoe work, construction	Completed	Site was mulched; no ground disturbance for day lodge site
2017	November	Applied for funding for initial drawings (PRRD)		Completed	Funding received
2018	February	Applied for funding for initial drawings (NDIT)		Completed	Funding received
2018	February-April	Architect to do initial drawings		Completed	
2018	May	Secure a minimum of 2 quotes for construction of Day Lodge		Received	
2018	October	Permit received for stadium clearing	Clearing of trees of day lodge site grading of stadium site	Completed	Archeological supervision required during grading
2018	Various	Fundraising for day lodge project; to continue throughout 2018, 2019 and 2020		Ongoing	Varying grant deadlines throughout 2018 and 2019
2019	June	Outhouse base prep and construction	Excavation of pit, install tank and concrete base	Completed	
2019	August	Delivery of outhouse kit	Kit to be installed on site by outhouse company	Completed	Outhouse to eventually be connected via accessible path from parking lot and day lodge
2019	September	Geotechnical work and site survey	Drilling, survey work	Completed	Will provide architect and engineer with information to design appropriate footings, and design for accessible path
2020	January-March	Architect and Engineer work on final drawings		Not yet complete	Further data analysis needed from geo tech for engineer

DATE	Deadline	Task	Activity	Completion	Notes
2021	February	Tender bids to secure construction company to build Day Lodge; apply for building permit from PRRD	Drawings available to all local construction companies for bidding		
2021	March	Award of successful bidder			
2021	April	Construction company to communicate with Architect and Engineer			
2021	May/June	When snow has melted and ground has thawed, footings can be installed	Installation of support piles as specified by engineer		Engineer to make site visit to inspect footings
2021	Summer	Framing of day lodge; roof installation; sheathing; electrical; insulation; window and door install; interior siding; flooring; exterior siding; deck construction; wood stove and chimney installation	Typical work schedule for a structure such as this is over a 6 month period.		Engineer to make site visit to inspect rafters; architect to make monthly site visits; WJNSC to record construction with photos
2021	October	Building complete to lock-up			
2021	December	Building complete; ready for use; WJNSC to order sponsor sign; arrange for shipping of tables and benches			Building inspection to be completed before occupancy, use by WJNSC
2022	January	WJNSC to host opening event			All sponsors invited; sponsor sign to be complete

WHISKEY JACK NORDIC SKI CLUB Day Lodge - Revenue				
Funder	Amount	Approved	Notes	
Peace River Regional District: Fair Share	40,000	\$40,000.00		Approved
Northern Development Initiative Trust	50,000	\$50,000.00	Submitted Fall 2018	Approved
Whiskey Jack Nordic Ski Club (various fundraising efforts throughout 2018-2020)	9,096.0	\$9,096.00	Funds raised from club members	Approved
Community, Culture and Recreation Program	357,139	357,139	Submitted January 2019	Approved
Corporate, Pembina	5,000	\$5,000.00	Submitted Winter 2019	Approved
Corporate, Coop Community Spaces	61,000	\$61,000.00		Approved
Capital Gaming grant	50,000		Submitted July 2020	
Other				
Total	572,235.0	\$522,235.00		
* 90% of project budget is confirmed.				
*20% contingency was factored in which should cover unforeseen project expense increases				
*Final design, engineering will be completed by mid January and bids will be received starting in early				

WHISKEY JACK NORDIC SKI CLUB Day Lodge - Expenses

Item	Amount	Unit Cost	Cost	GST	PST	Notes
Design and planning fees for accessible path			4,000	200		Urban Systems
Day Lodge:						
Architect's fees Phase 2			10,056.00	502.80		Laura Killam Architecture
Architect Travel to Site	6	500	3,000.00			Average airfare YVR to YXJ
Printing fees (plans)			500.00	25		
Engineer's fees: working drawings			4,517.37	225.87		Aspect Engineers
Construction Administration (est.)			4,000.00	200		Aspect
Engineer site visit (flight)	1	500	500			Air Canada (avg. airfare)
Engineer travel		1,300.00	1,300.00	65		Aspect
Permit fee (PRRD)			2,099.17			Peace River Regional District
Construction quote			379,407.00	18,970.35		Haab Homes
Signage: Lodge Sign on exterior	1	2,238.00	2,238.00	112	157	Innovative Signage
Misc. signs for inside lodge	10	25	250	12.5		Est. only
Sponsor sign - inside lodge	1	1,000	1,000	50		Est. only
Electrical connection from shop to day lodge	40 meters		8,000	400		Est. only (Epscan/Peace North Excavating)
Tables	6	2,500	15,000	750	1,050.00	Multiple quotes
Benches	12	1,000	12,000	600	840	Multiple quotes
Archeologist supervision and report (electrical trench)			1,368.00	68.4		Sites n Sounds
Archeologist travel	10h	92	920	46		Prince George to FSJ return
Archeologist supervision and report (foundation piles)	16h	92	1,840	92		Sites n Sounds
First Nations consultation			500			Treaty 8
SUB TOTAL			452,495.54	22,319.92	2,047.00	
GST/PST total - add			24,366.92			
Subtotal			476,862.46			
Contingency 20%			95,372.49			
TOTAL			572,234.95			

LOCATION PLAN 1:15,000



ARCHITECTURAL SHEETS

- A000 SERIES - GENERAL
- A0.00 COVER SHEET
 - A0.01 ASSUMPTIONS & LEGENDS
 - A0.02 SCHEDULES
 - A0.03 CODE SUMMARY
 - A0.11 SITE PLAN
- A100 SERIES - FLOOR PLANS
- A1.01 FOUNDATION PLAN & FLOOR FRAMING
 - A1.02 FLOOR PLAN
 - A1.03 ROOF PLAN
 - A1.05 LIGHTING & POWER PLAN
- A200 SERIES - REFLECTED CEILING PLAN
- A2.01 REFLECTED CEILING PLAN
- A300 SERIES - ELEVATIONS
- A3.01 ELEVATIONS
 - A3.02 ELEVATIONS
- A400 SERIES - SECTIONS
- A4.01 BUILDING CROSS SECTIONS
 - A4.02 BUILDING LONG SECTIONS
- A500 SERIES - INTERIOR ELEVATIONS
- A5.01 INTERIOR ELEVATIONS
 - A5.02 INTERIOR 3D VIEWS
- A600 SERIES - DETAILS
- A6.01 DETAILS: STAIR, RAMP AND RAILING
 - A6.02 SECTION DETAILS
 - A6.03 SECTION DETAILS

STRUCTURAL SHEETS

- S1.00 SERIES
- S1.0 MAIN FLOOR FRAMING
 - S1.1 ROOF FRAMING
 - S1.2 BUILDING SECTION
- NOTE: STRUCTURAL SHEETS INDICATE DESIGN DEVELOPMENT AND ARE NOT SET COORDINATED WITH THIS DRAWING SET

PROJECT CONTACT

CLIENT
Whiskey Jack Ski Club
Elisa Stanford, President
E. elisa@whiskeyjack.net
T. 250-765-0973

ARCHITECT
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Laura Kilian Architecture + Design
2113 Borden Drive
Vancouver BC V6N 4P3
E. laura@laurakilianarchitecture.com
T. 604-729-8863

STRUCTURAL ENGINEER
Andrew Chisholm, P.Eng, P.Stg.
Chisholm Design
Aspect Structural Engineers
101-100 West 3rd Avenue
Vancouver, BC
E. andrew@aspectengineers.com
T. (604) 760-7944

PROJECT DATA

Address
Beatty Park, BC
BC Provincial Park

Legal Description
N/A

Applicable Building Code
British Columbia Building Code (BCBC) 2018

Building Breakdown Design
Energy Star-rated Code: N/A (seasonal use)?
Compliance Path: N/A (seasonal use)?

Proposed Use
Seasonally accessible ski club day lodge
Group A Assembly building

Project Description
New construction

Conservation Type
Combustible construction, not sprinklered

Details
N/A (seasonal use)

Building Height
1 story

Setbacks
N/A

Area
Total footprint: 2415 sq ft, including ramp, decks and stairs
Building gross area: 1488 sq ft

Parking and Loading
Heavy parking lot



NOT FOR CONSTRUCTION

Laura Kilian Architects - DESIGN
Laura Kilian Architecture + Design
2113 Borden Drive
Vancouver, BC V6N 4P3
TEL: 604-729-8863

**WHISKEY JACK
NORDIC SKI CLUB
DAY LODGE**
BEATTY PARK, BC

PROJECT CODE: 1708
SCALE: A0.0

STATUS: Tender Coordination
DATE: May 26, 2020

COVER SHEET
SHEET
A0.00

SYMBOL	ASSEMBLY	DESCRIPTION
		SPLIT-INSULATED EXTERIOR WALL 7/16" CORRUGATED STEEL CLADDING, VERTICAL ORIENTATION 1" CONTINUOUS RIGID MINERAL WOOL INSULATION 1" 1/2" CONTINUOUS RIGID MINERAL WOOL INSULATION VAPOUR BARRIER MEMBRANE 10" EXTERIOR GRADE PLYWOOD SHEATHING - SEE STRUCT 2" X 4" WOOD STUDS - SEE STRUCT 5" R20 MINERAL WOOL INSULATION BETWEEN STUDS VAPOUR BARRIER 1" X 4" TAG SING INTERIOR FINISH R20 MINIMUM 10" EXTERIOR CLADDING, 1 X 4 TAG SELECT TIGHTNOT CEDAR BOARDS, 1/2" GAP, RESAWN FACE, VERTICAL ORIENTATION, NO FINISH
		UNINSULATED EXTERIOR WALL 7/16" CORRUGATED STEEL CLADDING, VERTICAL ORIENTATION 1" X 4" FT STRAPPING FASTENED WITH LONG S.S. SCREWS 2" X 4" WOOD STUDS - SEE STRUCT 1" X 4" TAG SELECT TIGHTNOT CEDAR BOARDS, 1/2" GAP, RESAWN FACE, VERTICAL ORIENTATION, NO FINISH
		7" INTERIOR PARTITION 7/16" TAG SING INTERIOR FINISH 5" R20 WOOD STUDS - SEE STRUCTURAL 1" X 4" TAG SING INTERIOR FINISH
		DOUBLE LAYER COLD ROOF, VENTED TOP LAYER STANDING 10" AN METAL ROOF 10" MIN. R20 MINERAL WOOL ROOF REINFORCEMENT 2" X 4" SLEEPERS PERPENDICULAR TO PURLINS 2" R20 MINERAL WOOL INSULATION 2" R20 STRUCTURAL MINERAL WOOL INSULATION 10" VAPOR BARRIER 10" DOUBLE LAYER COLD ROOF TRUSS - SEE STRUCT 1" X 4" STRAPPING IN BETWEEN TRUSSES 1" X 4" TAG SING INTERIOR CEILING FINISH IN BETWEEN TRUSSES, PERPENDICULAR TO TRUSSES R20 MINIMUM (R40 PREFERRED) * SUPPORTED 1 X 4 TAG SELECT TIGHTNOT CEDAR BOARDS, 1/2" GAP, RESAWN FACE, NO FINISH, 3.5" CONTINUOUS SCHEDULED JOIST VENT AT EAVES * ACE CLAMP ANNY COLOUR SNAP SHOWN RESTRICTION INSTALLED 2'-0" FROM EXTERIOR WALL AT EAVES

SYMBOL	ASSEMBLY	DESCRIPTION
		INSULATED WOOD JOIST FLOOR OVER EXTERIOR 3/4\"/>
		WOOD DECK 2\"/>

ABBREVIATIONS

ADD ADH AFF ALUM ANDD APPROX ARCH AUTO AVE	ADDENDUM ADHESIVE AFFIXED ALUMINUM ANDICED APPROXIMATE ARCHITECTURAL AUTOMATIC AIR/VAPOUR BARRIER	GA GLA GL GND GS GYP GWB	GAUGE GLAZED GLASS GROUND GALVANIZED STEEL GYPSUM GYPSUM WALLBOARD	PERF MTL PLT PLYWD PRESAB PT PTN	PERFORATED METAL PLATE PLYWOOD PREFABRICATED PAINT PARTITION
B.O. B.O.S. BOT BPL	BOTTOM OF BOTTOM UP SLAB BOTH SIDES BOTTOM BASE PLATE	HB HCH HCHM HK HM HON HP	HOSE BIB HAND DRIVER HANDSOME HOOK HORIZONTAL HOLLOW POINT HOLLOW STRUCTURAL SECTION	R.O. RCP REF RENF REQ REV RI RM RWL	ROUGH OPENING REFLECTED CEILING PLAN REFERENCE REINFORCED REVISION RIGID INSULATION ROOM RAIN WATER LEADER/DOWNSPOUT
CL CLNG CLR COL CONC CONT CT	CENTRE LINE CEILING CLEAR COLUMN CONCRETE CONTINUOUS CERAMIC TILE	ID INSUL INT	INSIDE DIAMETER INSULATION INTERIOR	R.O. RCP REF RENF REQ REV RI RM RWL	ROUGH OPENING REFLECTED CEILING PLAN REFERENCE REINFORCED REVISION RIGID INSULATION ROOM RAIN WATER LEADER/DOWNSPOUT
DET DIA DM DIV DP DR DW DWG(S)	DETAIL DIAMETER DIMENSION DIVISION DEPTH DUPLEX RECEPTACLE DOWNSHED DRAWING(S)	KIT KP L LAM LBR MAT MAX MECH MET MFR MMB MNT MNF	KITCHEN KICK PLATE LENGTH LAMINATE LUMBER MATERIAL MAXIMUM MECHANICAL METAL MANUFACTURER MINIMUM MEMBRANE MOUNTED MEMBRANE WATERPROOFING	S.S. SCHD SECT SHT SMT SPEC STL STN STR STRUCT.	STAINLESS STEEL SELF-ADHERED MEMBRANE SCHEDULE SECTION SHEATHING SHEET SILAR SPECIFICATION STEEL STAIN STRAP STRUCTURAL
E.O.S. EA ELEC ELEV EPA EQ EQP EXT	EDGE OF SLAB EACH ELECTRICAL ELEVATION (VIEW) EPA EQUAL EQUIPPED EXTERIOR	NO NCL NS NTS	NOT IN CONTRACT NUMBER NORMAL NOT TO SCALE	U/S U.N.O. UNFIN VB	UNDERSIDE UNLESS NOTED OTHERWISE UNFINISHED VARIOUS BARRIER
F.O. FH F.F.E. FIN FIR FIR	FACE OF FOUNDATION FIRE EXTINGUISHER WALL MOUNTED FINISH FLOOR ELEVATION FINISH FLOOR FIRE RESISTANCE RATING	O.C. OD OH OPNG OPP	ON CENTRE OUTSIDE DIAMETER OVERHEAD OPENING OPPOSITE	W.O. W WS WD WEP WFP	WHERE OCCURS WOOD WEATHER-STRIPPING WOOD WOOD FLOOR WATERPROOF / WATERPROOFING

ANNOTATIONS

	GRID BUBBLE
	EXTERIOR ELEVATION TAG
	INTERIOR ELEVATION TAG
	BUILDING SECTION TAG
	WALL SECTION TAG
	CALLOUT TAG
	ROOM TAG
	ROOF TAG
	FLOOR TAG
	CEILING TAG
	WALL TAG
	DOOR TAG
	WINDOW TAG
	SPOT ELEVATION TAG
	MATERIAL TAG
	KEYNOTE TAG

GENERAL NOTES

- Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
- The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manuals and all Structural, Mechanical and Electrical Drawings. In cases of difference between the Consultant's documents with respect to the quantity, sizes or scope of work, the greater shall apply.
- Locations of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
- Dimensions indicated are taken to outside of structural sheathing unless otherwise noted.
- These documents are not to be used for construction unless specifically noted for such purpose.

POWER LEGEND

	wireless router
	floor receptacle
	double duplex receptacle
	duplex receptacle
	thermostat
	single pole switch
	dimmer switch
	pendant light
	wall sconce
	recessed light

PROJECT	NO.	DATE	DESCRIPTION
1	100000	10/01/2019	Issue for Design Development
2	200000	10/01/2019	Issue for Design Development

NOT FOR CONSTRUCTION

LARRY KELLER ARCHITECTURAL DESIGN
LARRY KELLER ARCHITECTURAL DESIGN
1000 BAYVIEW AVENUE
TORONTO, ONTARIO M5S 1A5
TEL: 416 593 8888

**WHISKEY JACK
NORDIC SKI CLUB
DAY LODGE**
BEATON PARK, BC

PROJECT CODE	STATUS
1706	Coordination
2014	DATE
As indicated	May 26, 2020

ASSEMBLIES & LEGENDS

A0.01

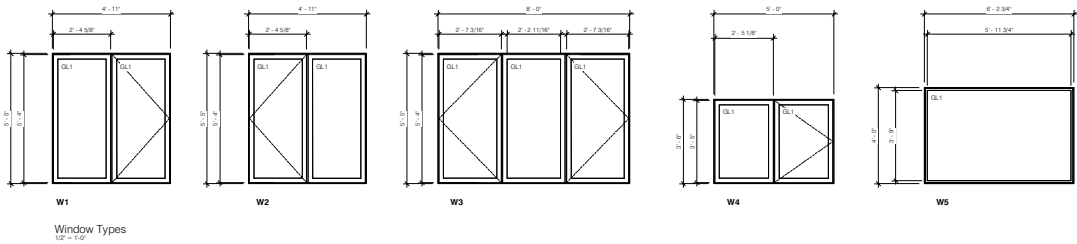
DOOR SCHEDULE												
Number	Exterior / Interior	Location	Door Type	DOOR			Door Glazing	FRAME		Hardware	Closing Device	Comments
				Width	Height	Thickness		Frame Type	Frame Finish			
D1	Ext	Main Hall	Double Door Single Lite	4'-2 3/4"	8'-2 1/8"	1 1/2"						
D2	Ext	Main Hall	Double Door Single Lite	4'-2 3/4"	8'-2 1/8"	1 1/2"						
D3	Ext	Janitor	Double Door Solid Panel	3'-0"	8'-2 1/8"	1 1/2"						Special hardware required
D4	Ext	Janitor	30" x 48"	3'-0"	8'-2 1/8"	1 1/2"						

ROOM FINISH - SCHEDULE					
Name	Floor Finish	Base Finish	WALLS		Comments
			Wall Material	Wall Finish	
ENTRY	rubber composite		1 X 6 T & G siding, select grade C or D pine boards, 1/8" gap, smooth face, horizontal orientation	semi transparent stain or whitewash	
KITCHEN	rubber composite		1 X 6 T & G siding, select grade C or D pine boards, 1/8" gap, smooth face, horizontal orientation	semi transparent stain or whitewash	
LAV/LODGE	rubber composite		1 X 6 T & G siding, select grade C or D pine boards, 1/8" gap, smooth face, horizontal orientation	semi transparent stain or whitewash	

SHUTTER SCHEDULE										
Mark	Wall Location	Description	Manufacturer	Type	BOX			SHUTTER		
					Box Type	Box Dimension	Box Colour	Shutter Type	Shutter Width	Shutter Length
S202	west wall		Portagen	Shutter Box Portagen B 121	B 121	6'-12"	6'-12"	dark bronze	400 series	4'-11"
S203	west wall		Portagen	Shutter Box Portagen B 121	B 121	6'-12"	6'-12"	dark bronze	400 series	4'-11"
S204	west wall		Portagen	Shutter Box Portagen B 121	B 121	6'-12"	6'-12"	dark bronze	400 series	4'-11"
S205	west wall		Portagen	Shutter Box Portagen B 121	B 121	6'-12"	6'-12"	dark bronze	400 series	4'-11"
S206	west wall		Portagen	Shutter Box Portagen B 121	B 121	6'-12"	6'-12"	dark bronze	400 series	4'-11"
S207	west wall		Portagen	Shutter Box Portagen B 121	B 121	6'-12"	6'-12"	dark bronze	400 series	4'-11"
S208	west wall		Portagen	Shutter Box Portagen B 121	B 121	6'-12"	6'-12"	dark bronze	400 series	4'-11"
S209	west wall		Portagen	Shutter Box Portagen B 121	B 121	6'-12"	6'-12"	dark bronze	400 series	4'-11"
S210	west wall		Portagen	Shutter Box Portagen B 121	B 121	6'-12"	6'-12"	dark bronze	400 series	4'-11"
S211	west wall		Portagen	Shutter Box Portagen B 121	B 121	6'-12"	6'-12"	dark bronze	400 series	4'-11"
S212	west wall		Portagen	Shutter Box Portagen B 121	B 121	6'-12"	6'-12"	dark bronze	400 series	4'-11"
S213	west wall		Portagen	Shutter Box Portagen B 121	B 121	6'-12"	6'-12"	dark bronze	400 series	4'-11"
S214	west wall		Portagen	Shutter Box Portagen B 121	B 121	6'-12"	6'-12"	dark bronze	400 series	4'-11"

WINDOW SCHEDULE									
Type Mark	Mark	Assembly Code	Assembly Description	Comments	Head Height	Sill Height	Rough Height	Rough Width	Type
W1	W1			right panel operable, insect screens on all operable windows (OS)	7'-11"	2'-6"	3'-5 1/2"	4'-11 1/2"	Milrose SPW A 6014
W2	W2			right panel operable, insect screens on all operable windows (OS)	7'-11"	2'-6"	3'-5 1/2"	4'-11 1/2"	Milrose SPW A 6014
W3	W3			right panel operable, insect screens on all operable windows (OS)	7'-11"	2'-6"	3'-5 1/2"	4'-11 1/2"	Milrose SPW A 6014
W4	W4			left panel operable, insect screens on all operable windows (OS)	7'-11"	2'-6"	3'-5 1/2"	4'-11 1/2"	Milrose SPW A 6014
W5	W5			left panel operable, insect screens on all operable windows (OS)	7'-11"	2'-6"	3'-5 1/2"	4'-11 1/2"	Milrose SPW A 6014
W6	W6			right panel operable, insect screens on all operable windows (OS)	7'-11"	2'-6"	3'-5 1/2"	4'-11 1/2"	Milrose SPW A 6014
W7	W7			right panel operable, insect screens on all operable windows (OS)	7'-11"	2'-6"	3'-5 1/2"	4'-11 1/2"	Milrose SPW A 6014
W8	W8			right panel operable, insect screens on all operable windows (OS)	7'-11"	2'-6"	3'-5 1/2"	4'-11 1/2"	Milrose SPW A 6014
W9	W9			right panel operable, insect screens on all operable windows (OS)	7'-11"	2'-6"	3'-5 1/2"	4'-11 1/2"	Milrose SPW A 6014
W10	W10			right panel operable, insect screens on all operable windows (OS)	7'-11"	2'-6"	3'-5 1/2"	4'-11 1/2"	Milrose SPW A 6014
W11	W11			right panel operable, insect screens on all operable windows (OS)	7'-11"	2'-6"	3'-5 1/2"	4'-11 1/2"	Milrose SPW A 6014
W12	W12			right panel operable, insect screens on all operable windows (OS)	7'-11"	2'-6"	3'-5 1/2"	4'-11 1/2"	Milrose SPW A 6014
W13	W13			right panel operable, insect screens on all operable windows (OS)	7'-11"	2'-6"	3'-5 1/2"	4'-11 1/2"	Milrose SPW A 6014
W14	W14			right panel operable, insect screens on all operable windows (OS)	7'-11"	2'-6"	3'-5 1/2"	4'-11 1/2"	Milrose SPW A 6014
W15	W15			right panel operable, insect screens on all operable windows (OS)	7'-11"	2'-6"	3'-5 1/2"	4'-11 1/2"	Milrose SPW A 6014

Glazing Types and Notes:



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NOT FOR CONSTRUCTION

LEARN HILLMAN ARCHITECTURAL - DESIGN
LEARN HILLMAN ARCHITECTURAL - DESIGN
LEARN HILLMAN ARCHITECTURAL - DESIGN
LEARN HILLMAN ARCHITECTURAL - DESIGN

WHISKEY JACK
NORDIC SKI CLUB
DAY LODGE
BEATON PARK, BC

PROJECT CODE: 1708
ARCH: 2020
10' - 11'0"

SCHEDULES
A0.02

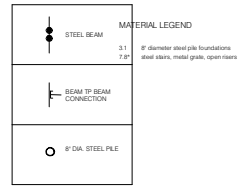
NO	DATE	DESCRIPTION
1	190510	Issue for Schematic Coding
2	200304	Issue for Design Development

LAURA KELLAM ARCHITECTURE + DESIGN
LAURA KELLAM, ARCHITECT AIBC
2110 SERRIN DRIVE
VANCOUVER B.C. V6N 6R3
TEL: 604 729 8868

Under Coordination
May 20, 2020

A0.11

200018 Issue for Permit Coordination



**NOT FOR
CONSTRUCTION**

WHISKEY JACK
NORDIC SKI CLUB
DAY LODGE
BEATTON PARK, BC

FOUNDATION
PLAN & FLOOR
FRAMING

A1.01

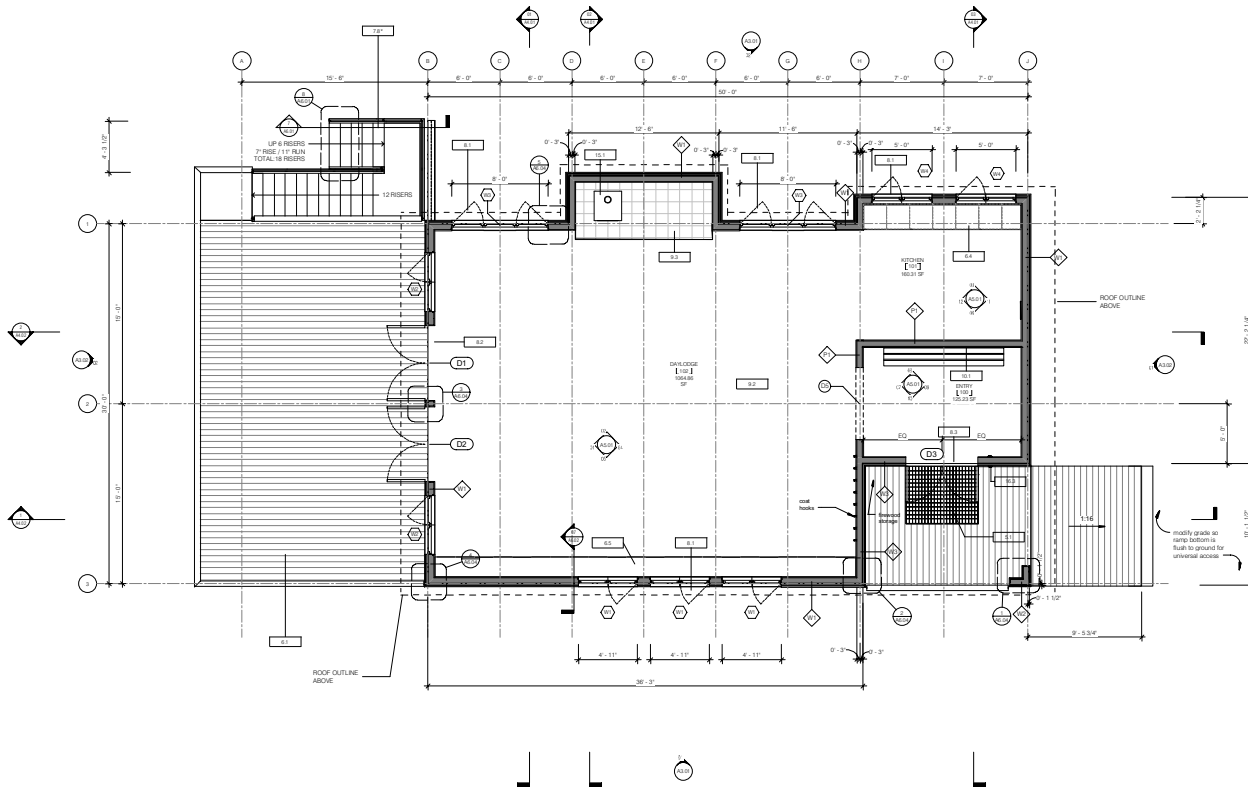
- NOT FOR
CONSTRUCTION**

WHISKEY JACK
NORDIC SKI CLUB
DAY LODGE

PROJECT NORTH	TRUE NORTH
	
PROJECT CODE 1706	STATUS Tender Coordination
SCALE 1/4" = 1'-0"	DATE May 20, 2020

FLOOR PLAN

A1.02

01 LEVEL 1 PLAN
1/4" = 1'-0"

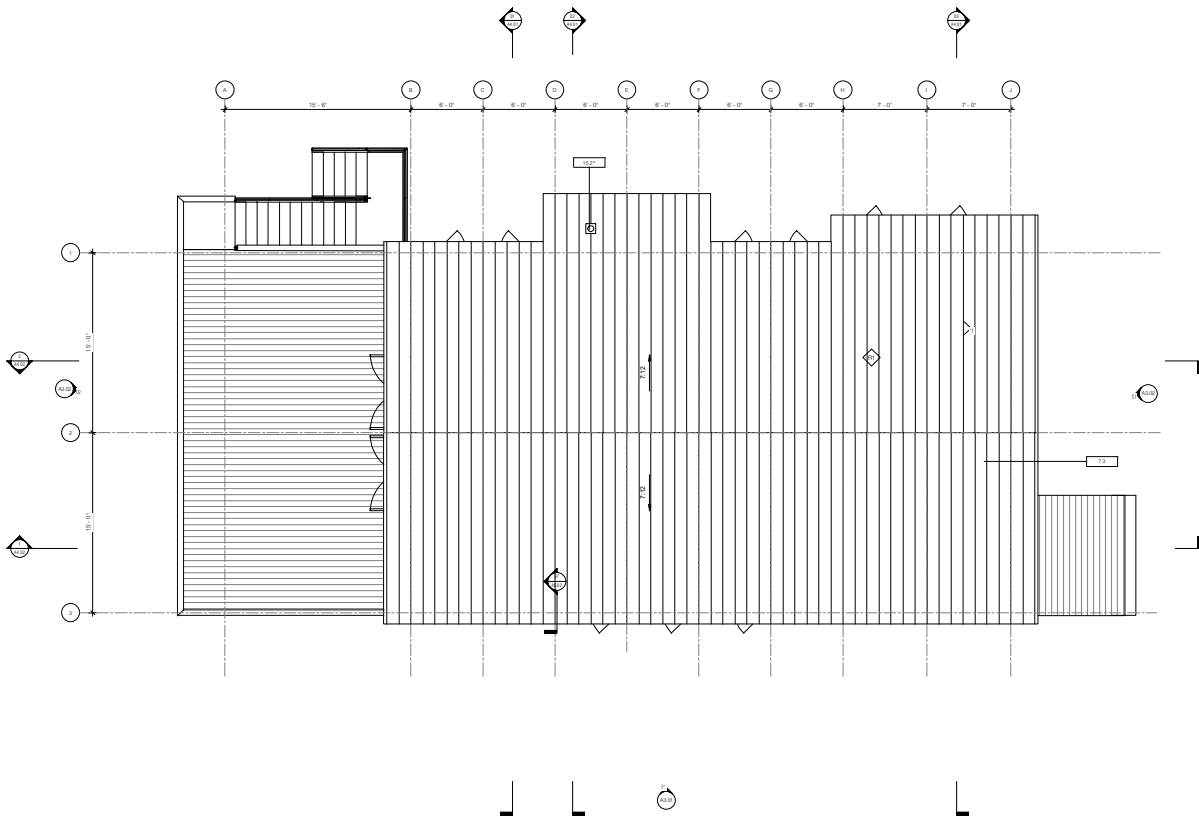
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NO.	DATE	DESCRIPTION
1	05/20/20	Issue for Construction
2	05/20/20	Issue for Design Development

MATERIAL LEGEND

7.3 24 gauge metal roof, 12" Woodform Panels or
equiv.

15.2"



01 ROOF PLAN
1/4" = 1'-0"

**NOT FOR
CONSTRUCTION**

LARSEN & LARSEN INC. ARCHITECTS
1000 10th Avenue, Suite 100
Vancouver, BC V6Z 1Y1
TEL: 604 681-1111

**WHISKEY JACK
NORDIC SKI CLUB
DAY LODGE**
BEAVER CREEK, BC

PROJECT CODE	STATUS
1708	Under Construction
1708	May 20, 2020

ROOF PLAN
A1.03

MATERIAL LEGEND

- 15.1 wood-grain, Pacific Energy Summit or sim.
16.3 barrier-free automatic door operator
16.4*
16.8*

POWER LEGEND

- 15.1 wireless router
15.2 floor receptacle
15.3 double duplex receptacle
15.4 duplex receptacle
15.5 thermostat
15.6 single pole switch
15.7 dimmer switch
15.8 pendant light
15.9 wall sconce
16.0 recessed light

NOT FOR
CONSTRUCTION

LARRY HILLMAN ARCHITECTS - DESIGN
LARRY HILLMAN ARCHITECTS - DESIGN
LARRY HILLMAN ARCHITECTS - DESIGN
TEL: 403.233.1000

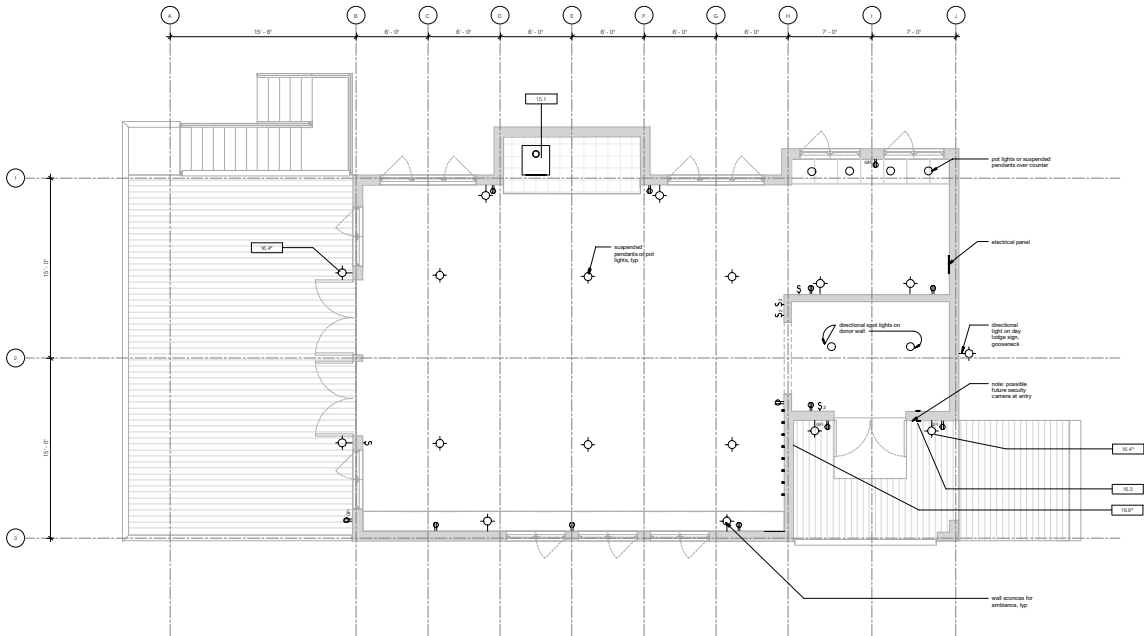
WHISKEY JACK
NORDIC SKI CLUB
DAY LODGE
BEATTON PARK, BC

PROJECT CODE: 1706
REVISED: 2020.05.26
1/4" = 1'-0"

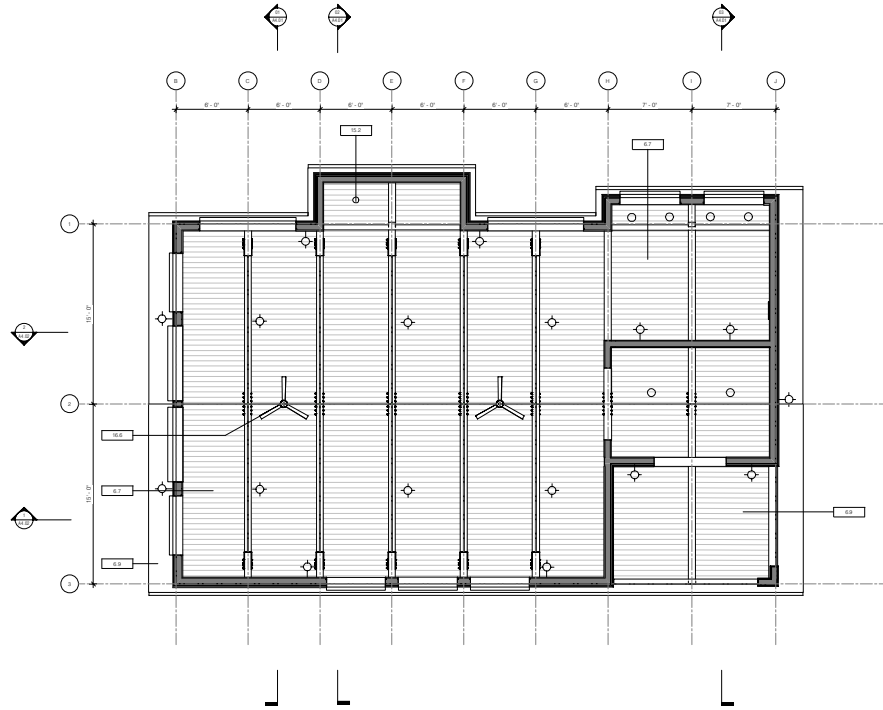
STATUS: Tender Coordination
DATE: May 26, 2020

LIGHTING &
POWER PLAN

A1.05



01 LEVEL 1 ELEC PLAN
1/4" = 1'-0"



MATERIAL LEGEND

- 6.7 interior ceiling finish 1 x 6 T&G pine boards
- 6.9 cedar soffit
- 10.2 lighting
- 16.6 ceiling mounted electric fan

POWER LEGEND

- wireless router
- floor receptacle
- double duplex receptacle
- duplex receptacle
- thermostat
- single pole switch
- dimmer switch
- pendant light
- wall sconce
- recessed light

NOT FOR
CONSTRUCTION

LARA HILLIER ARCHITECTS INC. - DESIGN
LARA HILLIER ARCHITECTS INC. - ARCHITECT
LARA HILLIER ARCHITECTS INC. - INTERIOR DESIGN
TEL: 403.241.1111

WHISKEY JACK
NORDIC SKI CLUB
DAY LODGE
BEATTON PARK, BC

PROJECT CODE: 1706
ARCH: L.H.A.
1/4" = 1'-0"

STATUS: Tender Coordination
DATE: May 26, 2020

REFLECTED
CEILING PLAN

A2.01



A3.01

- | | |
|------|---|
| 3.1 | 8" diameter steel pile foundations |
| 3.3* | steel beam (see structural) |
| 6.1 | PT wood deck |
| 6.2 | PT wood railing with galvanized welded wire inserts |
| 6.6* | oslar boards - 1 x 6 T&G with 1/8" bevel |
| 7.2 | 24 gauge corrugated metal siding |
| 7.3 | 26 gauge metal roof, 12" Western Prolok or sim. |
| 7.8* | steel stairs, metal grade, open risers |
| 8.5 | Pentagon security shutter, Series 400 |
| 15.2 | chimney |



**NOT FOR
CONSTRUCTION**

LAURA KELLAM ARCHITECTURE + DESIGN
LAURA KELLAM, ARCHITECT ABC
2110 SEMLIN DRIVE
VANCOUVER BC V6N 6R3
TEL: 604 729 8888

**WHISKEY JACK
NORDIC SKI CLUB
DAY LODGE**
BEATTON PARK, BC

PROJECT CODE	STATUS
1706	Tender Coordination
SCALE	DATE
1/4" = 1'-0"	May 20, 2020

ELEVATIONS

A3.02

01 Elevation 1A
1/4" = 1'-0"
01 / A1.02

02 Elevations
1/4" = 1'-0"
01 / A1.02

03 Kitchen Elevation 2A
1/4" = 1'-0"

04 Elevation 1C
1/4" = 1'-0"
01 / A1.02

05 Elevation 1D
1/4" = 1'-0"
01 / A1.02

06 Kitchen Elevation 2B
1/4" = 1'-0"

07 Elevation 3A
1/4" = 1'-0"
01 / A1.02

08 Elevation 3B
1/4" = 1'-0"
01 / A1.02

09 Elevation 3C
01 / A1.02

10 Elevation 3D
01 / A1.02

11 Kitchen Elevation 2C
1/4" = 1'-0"
01 / A1.02

12 Kitchen Elevation 2D
1/4" = 1'-0"
01 / A1.02

**NOT FOR
CONSTRUCTION**

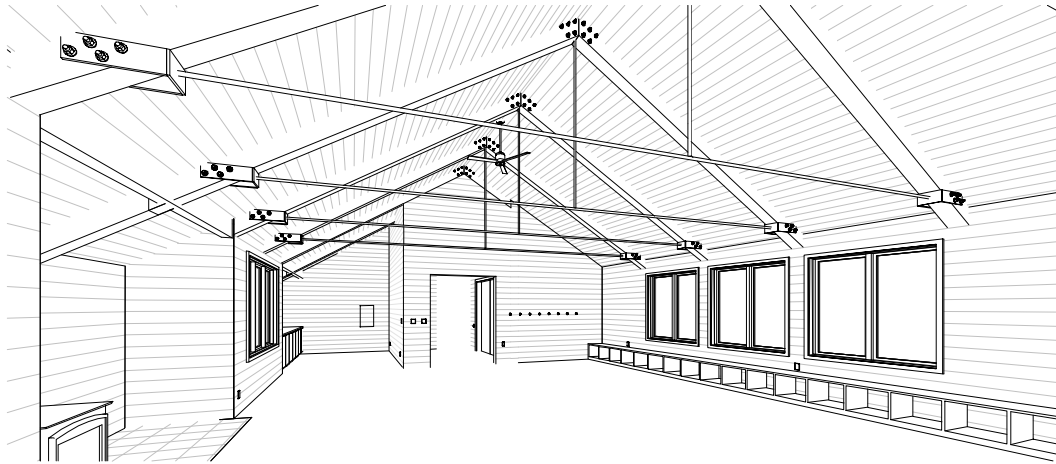
LAURA KELLAR ARCHITECTURE + DESIGN
LAURA KELLAR ARCHITECT + DESIGN
2110 SEASIDE DRIVE
VANCOUVER, BC V6N 4K3
TEL: 604 729 8888

**WHISKEY JACK
NORDIC SKI CLUB
DAY LODGE**
BEATTON PARK, BC

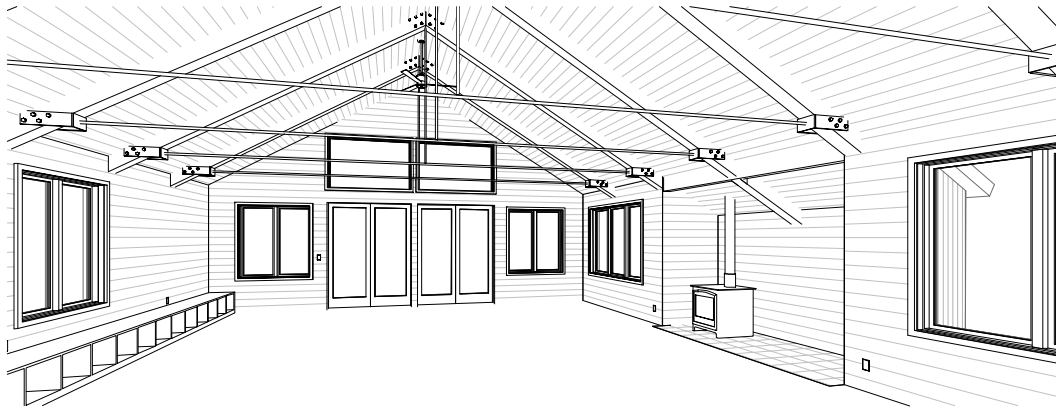
PROJECT CODE	STATUS
1706	Tender Coordination
SCALE	DATE
1/4" = 1'-0"	May 20, 2020

INTERIOR ELEVATIONS

A5.01



INTERIOR VIEW LOOKING NORTH



INTERIOR VIEW LOOKING SOUTH

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REVISION	DATE	DESCRIPTION
1	2020-05-26	Final Design

NOT FOR
CONSTRUCTION

LARSEN & LARSEN ARCHITECTS - DESIGN
1000 BROADVIEW AVENUE
VICTORIA, BC V8W 2E1
TEL: 250.363.8888

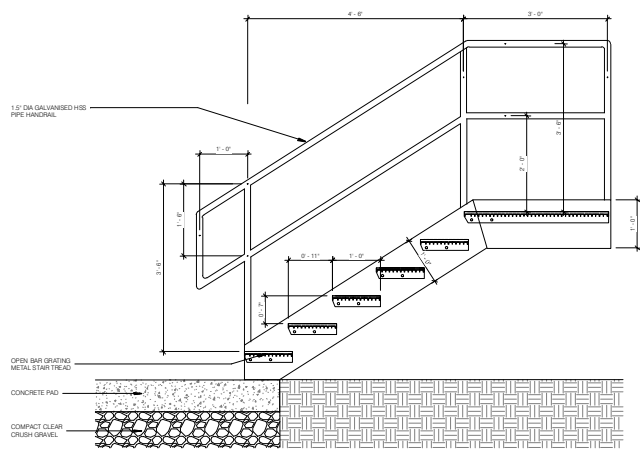
**WHISKEY JACK
NORDIC SKI CLUB
DAY LODGE**
BEATON PARK, BC

PROJECT CODE	STATUS
1708	Tender Coordination
2020-05-26	DATE

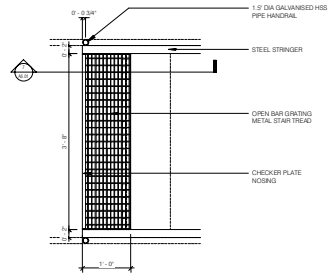
INTERIOR 3D
VIEWS

A5.02

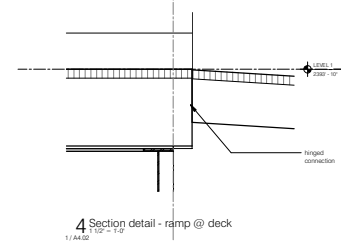
10000-01-01-0000



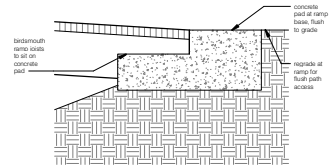
7 section detail - open riser metal grate stair
01 / A1.01 - 1'-0"



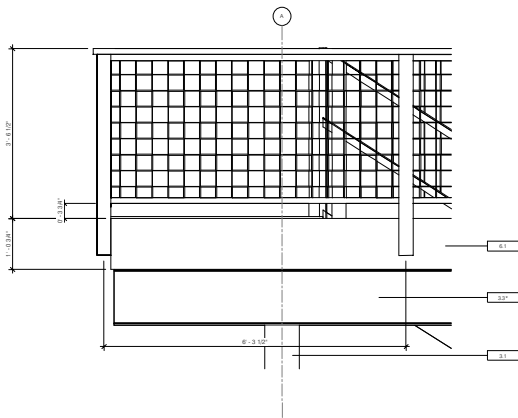
8 plan detail - open metal grate tread
01 / A1.02 - 1'-0"



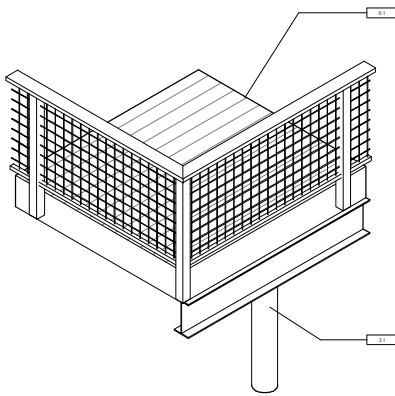
4 Section detail - ramp @ deck
1 / A4.02 - 1'-0"



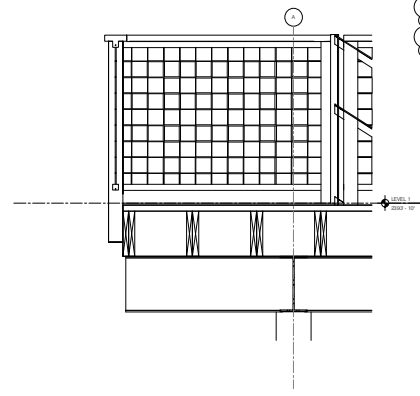
5 Section detail - ramp @ grade
1 / A4.02 - 1'-0"



01 ELEVATION - EAST - Callout 1
01 / A2.01 - 1'-0"



02 RAILING DETAIL - 3D view



3 LONG SECTION - Callout 1
1 / A4.02 - 1'-0"

MATERIAL LEGEND

- 3.1 8" diameter steel pile foundations
- 3.2 steel beams (see structural)
- 4.1 FT wood deck

NOTE: DETAILS INCOMPLETE

NOT FOR CONSTRUCTION

LARSEN & LARSEN ARCHITECTURAL - DESIGN
LARSEN & LARSEN ARCHITECTURAL - DESIGN
LARSEN & LARSEN ARCHITECTURAL - DESIGN
TEL: 604.291.0000

WHISKEY JACK
NORDIC SKI CLUB
DAY LODGE
BEATTON PARK, BC

PROJECT CODE: 1706
SHEET: 04/14
STATUS: Tender Coordination
DATE: May 26, 2020

DETAILS - STAIR,
RAMP AND
RAILING

A6.01

MATERIAL LEGEND

NOTE: DETAILS INCOMPLETE

NOT FOR CONSTRUCTION

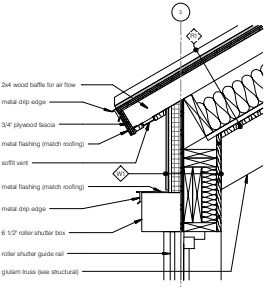
LARRY KILLAM ARCHITECTURAL - DESIGN
LARRY KILLAM ARCHITECTURAL - DESIGN
LARRY KILLAM ARCHITECTURAL - DESIGN
TEL: 416 333 3333

WHISKEY JACK
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DAY LODGE
BEATON PARK, BC

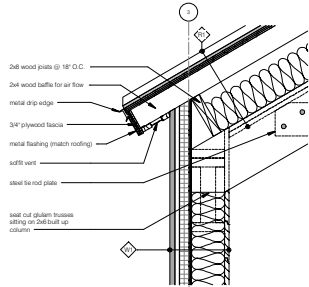
PROJECT CODE: 1708
SCALE: 1/12" = 1'-0"
STATUS: Tender Coordination
DATE: May 28, 2020

SECTION DETAILS

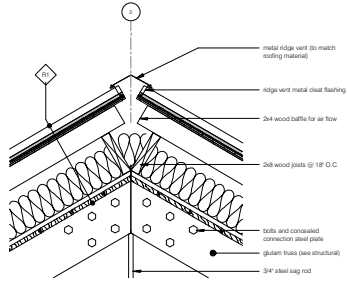
06.02



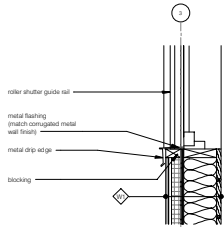
01 Section detail - window head at east wall
01 / A4.01



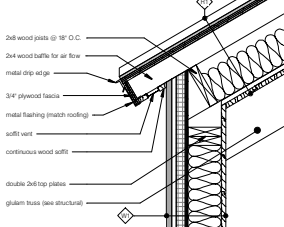
07 Section detail - truss at east wall
01 / A4.02



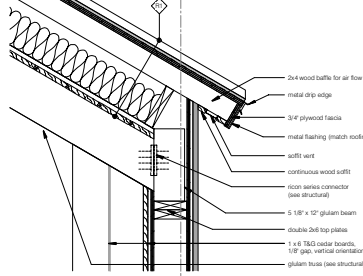
06 Section detail - roof ridge
01 / A4.03



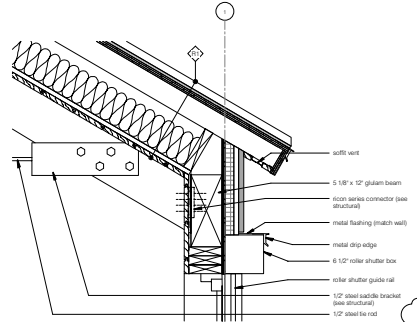
02 Section detail - window sill, typ
01 / A4.01



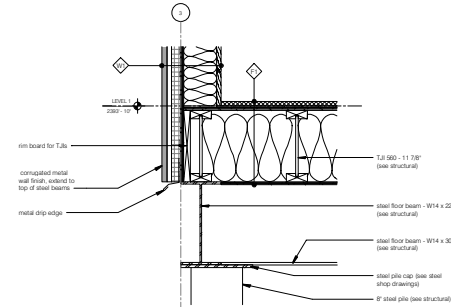
04 Section detail - soffit detail, typ
02 / A4.01



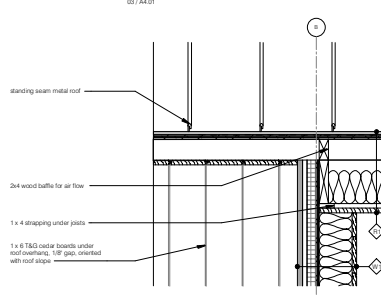
09 Section Detail - roof structure at exterior beam
02 / A4.01



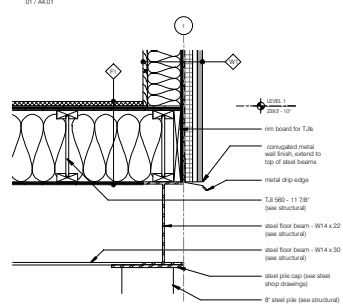
08 Section Detail - window head @ west wall
01 / A4.01



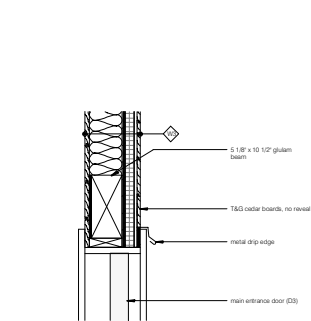
03 Section detail - floor structure and wall
01 / A4.01



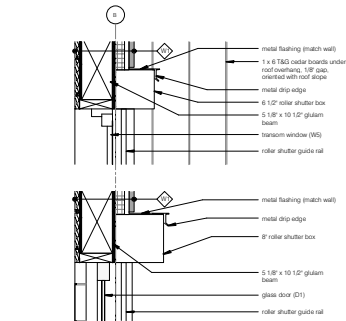
10 Section detail - roof overhang at south elevation
1 / A4.02



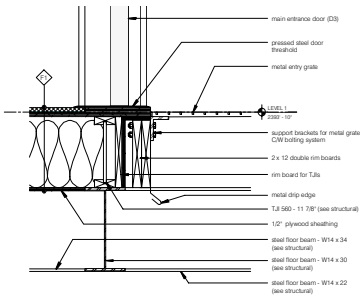
13 Section detail - floor structure
01 / A4.01



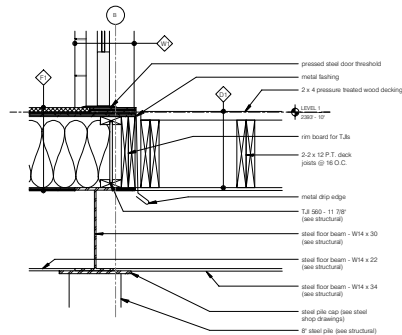
3 Section detail - door header @ entry
1/10\"/>



4 Section detail - door header and transom
1/10\"/>



2 Section detail - entry grate at door sill
1/10\"/>



1 Section detail - door sill @ south deck
1/10\"/>

NOTE: DETAILS
INCOMPLETE

NOT FOR
CONSTRUCTION

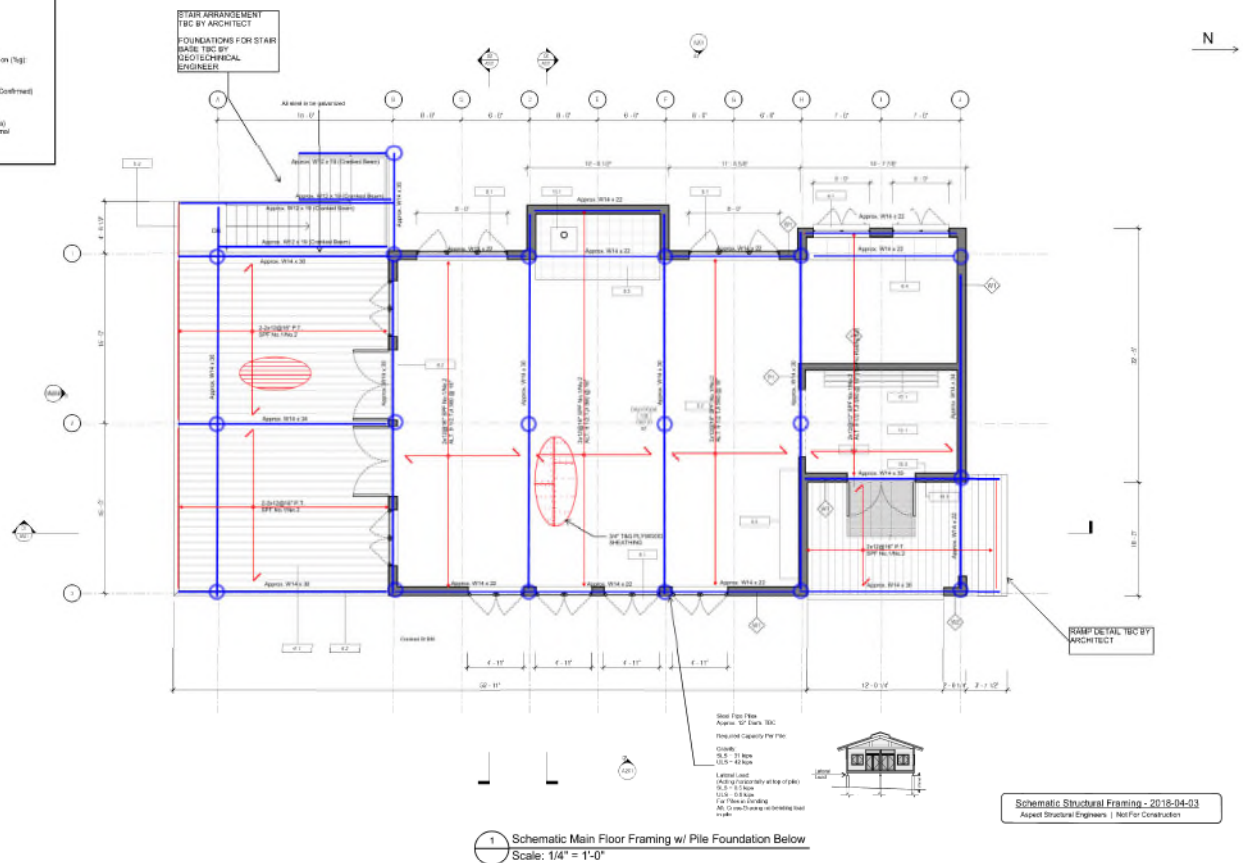
LARSEN & LARSEN ARCHITECTURAL - DESIGN
1000 10th Avenue, Suite 100, Seattle, WA 98101
TEL: 206.461.1000

**WHISKEY JACK
NORDIC SKI CLUB
DAY LODGE**
BEATON PARK, BC

PROJECT CODE: 1708
SCALE: 1/10\"/>

SECTION DETAILS
A6.03

Design Loads:
 Superimposed Dead Loads:
 Roof 17 psf
 Main Floor 35 psf
 Deck 15 psf
 Live Load 100 psf
 Snow Load 50 psf
 S₁₀ = 50 psf
 S₁ = 2.1 psf
 Seismic:
 Seismic Load (M) based on (1/8)
 S₁₀ (2) = 0.09
 Importance = Normal
 Site Class = E (1.5 for Confirmed)
 W₁₀
 W₁₀ (40) (2) based on:
 4.100 = 9 psf (0.35 MPa)
 Importance (A) = Normal



ASPECT
 STRUCTURAL ENGINEERS

1044-763-7844
 info@aspect-engineers.com
 105-198 Street, 3rd Floor
 Vancouver, BC V6Y 1P7
 aspect-engineers.com

1811
 Whiskey Jack Nordic
 Ski Club Lodge
 Beaton Park, BC

2018-04-30
 2018-04-30
 2018-04-30

2018-04-30
 Main Floor Framing w/ Pile
 Foundation Below

1/4" = 1'-0"

S1.0

SW STANDARD SHEAR WALL

TSW SHEAR WALL WITH FORCE TRANSFER AROUND OPENING

LT TYPICAL Lintel
2-2000200T, No. 10s @ 25 TYP.



1 Schematic Roof Framing w/ Main Floor Walls Below
Scale: 1/4" = 1'-0"

Schematic Structural Framing - 2018-04-03
Aspect Structural Engineers | Not For Construction

800-762-7666
 info@aspedesigners.com
 101-190 West 3rd Ave.
 Wynnton, NC 28409
 aspedesigners.com

**Whiskey Jack Nordic
Ski Club Lodge**
Beaton Park, BC

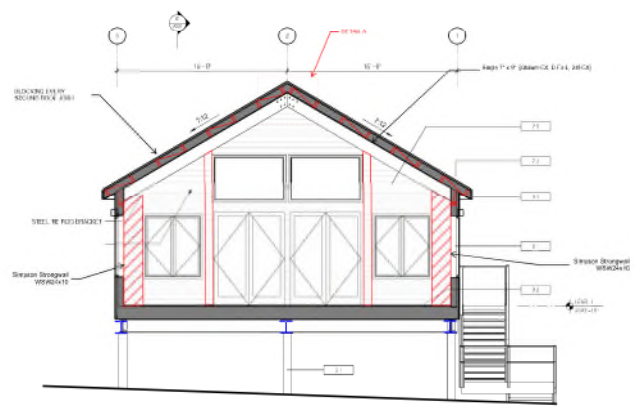
9795-66-90: Research & Training
9795-66-90: Texas, Environmental Science

2018-04-30

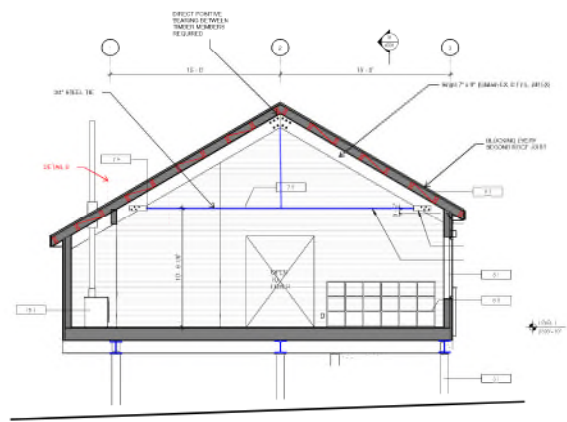
Roof Framing w/ Main Floor Walls Below

1/4"-1-0"

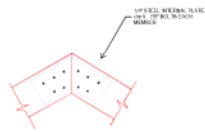
S1.1



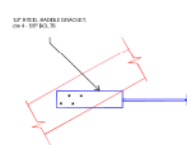
03 CROSS SECTION: 1 South Elevation
Scale: 1/4" = 1'-0"



02 CROSS SECTION: 2 Typical Section at Truss
Scale: 1/4" = 1'-0"



04 CROSS SECTION: 3 Gable End Connection Detail
Scale: 1/4" = 1'-0"



05 CROSS SECTION: 4 Truss Truss Connection Detail
Scale: 1/4" = 1'-0"

Schematic Structural Framing - 2018-04-03
Aspect Structural Engineers | Not For Construction

ASPECT
STRUCTURAL ENGINEERS

2018-04-03
2018-04-03
2018-04-03

Whiskey Jack Nordic
Ski Club Lodge
Beaton Park, BC

2018-04-03
2018-04-03
2018-04-03

2018-04-30

Building Section & Elevation

1/4" = 1'-0"

S1.2